to the first Ti

Counselors at Law

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Eric S. Goldstein **Managing Partner** 

egoldstein@ndglegal.com

4030 Ocean Heights Avenue Egg Harbor Township, NJ 08234

t 609 927 1177 f 609 926 9721

August 13, 2024

VIA UPS GROUND DELIVERY & EMAIL: (ratlas@cityofnorthfield.com)

Robin Atlas, CTC, CMR City of Northfield Planning Board 1600 Shore Road Northfield, NJ 08225

> RE: Preliminary and Final Major Site Plan Application

> > Applicant: ACCC Properties, LLC

Block 173, Lot 13

Block 175, Lots 1.01, 2, 48, 54, 17, 7, 5 and 39

Block 179.01, Lots 1.01, 16, 17 and 18

1 Leo Fraser Drive

Northfield, New Jersey 08225

Our File No. 11026-032

Dear Ms. Atlas:

This office represents ACCC Properties, LLC, (the "Applicant") in connection with the above-referenced application for Preliminary and Final Major Site Plan approval and "c" variance relief pursuant to N.J.S.A. 40:55D-70(c)(2) at the above-referenced property. The subject property is currently developed with the Atlantic City Country Club. Through this application, the Applicant is proposing to construct, establish and maintain a 7,000 s.f. enclosed ballroom addition with nearby outdoor seating, a reconstruction of a pre-existing patio, construction of a new patio and walkways, and other associated landscaping and site improvements.

The Applicant seeks "c" variance relief to construct a cupola above the ballroom which will be 11.2 ft. above the height of the roof ridge, with such roof ridge being at about the maximum permitted height of a building in the C – Country Club Zoning District. Additionally, the Applicant is proposing a total building length of 385 ft. where 240 ft. is the maximum permitted building length in the Zoning District. Lastly, the Applicant seeks two bulk variances from signage requirements. Specifically, the Applicant is proposing two non-flashing identification signs with a setback of 0 ft. where only one non-flashing identification sign with a minimum setback of 25 ft. is permitted.

In support of the requested relief, enclosed herein please find the following:

- 1. Three (3) copies of the completed City of Northfield Planning Board Application;
- 2. Three (3) copies of the completed City of Northfield Planning Board Site Plan Checklist (to be supplied under separate cover);
- 3. Three (3) copies of the Site Plan Set, prepared by Arthur Ponzio, Co., dated July 9, 2024;
- 4. Three (3) copies of the Architectural Plan Set, prepared by DAS Architects, Inc., dated July 11, 2024;
- 5. Three (3) copies of the Schematic Design Plan Set, prepared by DAS Architects, Inc., dated July 11, 2024;
  - 6. Three (3) copies of the completed and notarized Certification of Owner form;
  - 7. Three (3) copies of the Applicant's Corporate Disclosure Statement;
  - 8. Three (3) copies of the 200' Property Owners List;
  - 9. Three (3) copies of Proof of Payment of Taxes; and
  - 10. Three (3) copies of the Applicant's W-9.

Lastly, enclosed herein please find the City of Northfield Planning Board Fee Schedule and two checks in the amounts of \$2,750.00 and \$1,000.00, representing the required application fee and escrow deposit respectively.

Please do not hesitate to contact me should you require any additional documents or information in order to deem this application complete.

Once deemed complete, please notify me as to the date that the Planning Board will consider the application and our firm will, of course, provide the required public notice in advance of that date and supply fifteen (15) additional copies of the complete application to the City of Northfield Planning Board Members as required.

Should you have any further questions or require any additional documentations in advance of the hearing, please do not hesitate to contact me.

Robin Atlas, CTC, CMR City of Northfield Planning Board August 13, 2024 Page 3

Thank you, as always, for your kind attention and usual courtesies.

Very truly yours,

NEHMAD DAYIS & GOLDSTEIN, P.C.

BY:

ERIC S. GOLDSTEIN

ESG/ES

**Enclosures** 

cc.:

Joel M. Fleishman, Esquire, Planning Board Solicitor

(w/encl. via UPS Ground Delivery and Email: joel@fdlawllc.com)

Matthew F. Doran, Jr., PE, PP, PLS, CME, Planning Board Engineer

(w/encl. via UPS Ground Delivery and Email: <u>mattdoranjr@gmail.com</u>)

Karl Senseman (w/encl. via Email: senseman.karl@gmail.com)

Nick Borro (w/encl. via Email: borro@ottingergolf.com)

Mike Burke (w/encl. via Email: <u>burke@ottingergolf.com</u>)

Angela Zbikowski (w/encl. via Email: azbikowski@accountryclub.com)

Arthur W. Ponzio, Jr., PP, PLS (w/encl. via Email: aponzio@aponzio.com)

Jon J. Barnhart, PE, PP (w/encl. via Email: jbarnhart@aponzio.com)

Jay Rockafellow, Director of Production

(w/encl. via Email: <a href="mailto:irockafellow@dasarchitects.com">irockafellow@dasarchitects.com</a>)

Emanuel Sanfilippo, III, Esquire (w/encl. via Email: esanfilippo@ndglegal.com)

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ANTIC CITY COUNTRY CLUB 1, LLC dba ATLANTIC CITY COUNTRY CLUB NORTHFIELD. NJ 08225

FERENCE NO. DESCRIPTION INVOICE DATE INVOICE AMOUNT DISCOUNT TAKEN AMOUNT PAID

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CHECK DATE C	HECK NO.	PAYE	DISCOUNTS TAKEN	CHECK AMOUNT
8/5/2024	26231	City of Northfield		2,750.00

ATLANTIC CITY COUNTRY CLUB 1, LLC dba ATLANTIC CITY COUNTRY CLUB

dba ATLANTIC CITY COUNTRY CU ONE LEO FRASER DR. NORTHFIELD, NJ 08225 (609) 236-4411 TRUIST [H

2106 NEW RD SUITE B1 LINWOOD, NJ 08221-1048 55-471 312 026231

CHECK NO.

DATE

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26231

8/5/2024

2,750.00

TO THE ORDER OF:

PAY

Two thousand seven hundred fifty and 00/100\*\*\*\*\*\*\*

City of Northfield 1600 Shore Road

Northfield, NJ 08225

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ANTIC CITY COUNTRY CLUB 1, LLC dba ATLANTIC CITY COUNTRY CLUB NORTHFIELD. NJ. 08225
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ONE LEO FRASER DR. NORTHFIELD, NJ 08225 (609) 236-4411

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2106 NEW RD SUITE B1 URWOOD, NJ 08221-1046

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PAY TO THE ORDER OF:

One thousand and 00/100\*\*\*\*\*\*\*

City of Northfield 1600 Shore Road

Northfield, NJ 08225

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#### PLANNING BOARD APPLICATION

CASE #	LICE ONLY	_			
FOR OFFICIAL  Date of Applica			Date:	Date of De	eposit
Fee Paid		_	Date:	Affidavit of	f Service
Time Period Ex	cpires				
Date File Com	plete				
Hearing Date_					
******	*****	******	*****	*****	****
INFORMATION	REGARDING AF	PPLICANT			
Applicant's Ful	II Legal Name_	ACCC Properties, I	LLC		
Applicant's Ma	niling Address	1 Leo Fraser Drive,	Northfield, NJ 08225		
Applicant's Ph	one Number	56-649-851	5e-mail address	Borro @ C	offingergolf.com
Applicant is a:	Corporation	<u>Partners</u>	ship Ind	<u>dividual</u>	✓Limited Liability Company
			nd addresses of a be disclosed. Atta		ng 10% of
NATURE OF AP	PLICATION, che	ck appropriate ite	ems:		•
100000	A				
		on of administrati			
	Interpretation	of development o	ordinance or map		
	Variance:	"C" Variance (Ha	ardship)		
		"D" Use Variand	ce		
		"D" Non-Confor	ming Use		
		Conditional use	)		
		Subdivision - M	inor		
		Subdivision - M	ajor		
day		Site Plan - Waiv	er		
		Site Plan - Mino	or		
		Site Plan - Majo	or		
		Other			

		ne Ordinance from verter & Sheet C-4 of	which Variance is sought: f Site Plan Set
ART.	Section	Required	Proposed
ART.	Section	Required	<u>Proposed</u>
ART.	Section	Required	Proposed
If additiona	al space is neede	d, attach list to the	application
INFORMAT	ION REGARDING	PROPERTY:	
Address:	1 Leo Fraser Dri	ve, Northfield, NJ 08	8225
Bl Zoning Dis	LK <u>175</u> LOT Block: 179.01 trict <u>C - Count</u> ry Clu	1.01, 2, 48, 54, 17, (S) 7, 5 & 39 Lots: 1.01, 16, 17 & 18 ub Zoning District	
	-	feet from	om intersection of
Last Previo	ous Occupancy _		······································
	<u>Size</u>	Existing Building	
Front (feet)		See	ee Sheet C-4 of Site Plan Set
Deep (feet)		19 MALIA MARKATAN AND AND AND AND AND AND AND AND AND A	_
Square (fee	et)		
Height (fee	<u></u>		
Story			-
Building Co	overage		

Proposed use, Building, or Subdivision is contrary to:

SET BACKS ZONING REQ.	<u>Present</u>	<u>Proposed</u>	
Frontage Y or N Front Yard	See Sheet C-4 of Si	e Plan Set	Corner Lot
Front Yard			
Side	_		
Side			
Rear			
Lot Size Area			
Prevailing Setbacks of Building within  Present use Existing Country Club proposed			Ballroom proposed
Has there been any previous appeal o Yes or √No	r application involving th	ese premises?	
If yes, when			
and to whom	WHERE AND A STATE OF THE STATE		<del></del>
Nature of appeal or application			
Disposition	_Date		
Application for Subdivision	_site plan - conditional us	e approval	
The relationship of the applicant to the	e property in questions is	:	
Owner Tenant	<u></u>		
Purchaser under Contract (submit cop	y)	Other	

If the applicant is not the owner of the property, the applicant must obtain and submit a copy of this application signed by the owner in the space provided.

Owner's Authorization: I hereby certify that I resid	de at Applicant is the Owner.
In the County ofS	tate of
and that I am the owner of all that certain lot,	; Piece or parcel of land known as
Block Lot(s) common	y known as
which property is the subject of the applicant, an me.  Owner's Signature	
Applicant's Attorney_ Eric. S. Goldstein, Esquire	Phone #_609-927-1177
Address_ 4030 Ocean Heights Avenue, Egg Harb	or Twp., NJ 08234
Applicant's Engineer_ Arthur Ponzio Co.	Phone #_ 609-344-8194
Address 400 North Dover Avenue, Atlantic City,	NJ 08401
Applicant's Architect_ DAS Architects, Inc.	Phone #_ 215-751-9008
Address8 Penn Center, Suite 1300, Philadelph	nia, PA 19103
Applicant's Planner_Arthur Ponzio Co.	Phone #_609-344-8194
Address400 North Dover Avenue, Atlantic C	
Applicant's Verification:	
I hereby certify that the above statements made submitted in connection with application is true.  Applicants Signat	by me and the information contained in the papers

 $\underline{\text{Notice}}\text{: The applicant is responsible to publish and serve notice of this application after receiving a hearing date from the Secretary of the Planning Board, ten (10) days prior to the hearing date.}$ 



# BALLROOM ADDITION 1 LEO FRASER DRIVE NORTHFIELD, NJ 08225

ABBREVIATIONS	A AND Advantage of the Annual And Annual Ann	CT Crence Til.  CD Darge Forer  CD Darge Forer  CD Darge Forer  CD Cond Board  CD	Dhi Dhad Direct County of the	PTT behaver  If Just and State and S	CA Ormal PRO Press PRO Pre	SECT Section  See	GRAPHIC SYMBOLS		ROOM NAVIS AND NAVISER IDEM SHEET NOTE DOOR IDENTIFICATION WINDOW IDENTIFICATION PARTITION DESTRIBICATION PARTITION DESTRIBICATION FLAVATION PRESENCE ELEVATION PRESENCE ELEVATION REFERENCE	i i	LOCATION MAP			PROJECT SITE
							PHILADELPH TEL: 215-75 FAX: 215-75 jrocksfellong	TEGTS INC. FELLOW NG VO. SUITE 1300 HA PA 19103 1-9008	OMNERAL/IGLORD ADLANT CITY COUNTRY CLUB LLC NCC BORRO I LEC PRACER DRIVE I LEC PRACER DRIVE I LEC PRACER DRIVE I LEG PRACER DRIVE DOTTE LIGHT COUNTRY CLUB LLC NCC BORRO DOTTE LIGHT CAN DRIVE I	CONTRACTOR LAMBARK DEVELOPMEN MAIL E. SERSSMAN 1317 SOUTH MAIN ROAD 1317	NT .	CML ENGINEER ARTHAR PORZIO CO. ARTHAR	STRUCTURAL ENGINEER  STRUCTURE U.AS. LLC STRUCTURE U.AS. LLC STRUCT V. LIBROOM A P.E. 470 BOOT ROAD, BRTS 100 BOOT ROAD, BRTS	MEP ENGINEER MALHOR ENGINEERING ASSOCIATES MALE WITKOWSKI AND REPORT FOR THE PROPERTY OF THE P
										<b>PROJE</b>	CT	DIRECTOR'	<b>(</b>	

#### GENERAL ARCHITECTURAL NOTES

- ALL WORK UNDER THIS CONTRACT SHALL BE GOVERNED BY AIA DOCUMENT A291, GENERAL CONDITIONS OF THE CONTRACT, LATEST EDITION.
- THE HIRD OF THE CONDINCT OCCURRENTS IS TO ALLOY FOR THE PERFORMANCE OF THE MADE, EVERY TITUAL MECESSARY BOOKERD TO COME THE THE VIRTUE MAY BOTHE PERFORMED. WE HERITRING OF BROWN WASES OTHERMISE RESIDENCED IN THE CONTRINCTION DOCUMENTS AS BEIGNOTH THE CONTRINCT (BLLE) OF STRING, ALL STRINGS AND EQUIPMENT SAYL SE COUNTEDED AN APPROPRIATE OFFERDER, THE ADDITIONAL ALL STRUCTURE OF A PROPRIATE THEMS, AND ALL INCORPINAL ACCESSORY, AND OTHER THE NOT STRUCTURE OF BEIGNEED FOR A COUNTER THE PORT RESIDENCESSERY.

- LD ANY PORTION OF THE CONTRACT DOCUMENTS PROVE TO BE, FOR WHATEVER REASONS, FORCEABLE, SUCH UN-ENFORCEABILITY SHALL NOT EXTEND TO THE REMAINDER OF THE CONTRACT HALL IT VOID ANY OTHER PROYISIONS OF THE CONTRACT.
- THROUGHOUT THE DURATION OF THE PROJECT REFIRMS FROM ACTIONS THAT COULD LEAD TO THE FILING OF CLAWS OF LIESTED STREET, SUPPLIESS OF MATERIALS, LIBROR, SERVING, EQUIPMENT OR AN OTHER INCHMOUS COMMENTS OF DETILE IN URDER ONCYPRIENT AUTHOR LIANS AND REGALITORISM LINES REASONMELE AND JUSTIEVEZ CLAUSE CHAIR SHOWN, APPROVIAL FOR PAYMENT SHALL BE CONTINGENT WORN THE CONTRICTOR'S ORNAING AND PRINCIPATION FOR OWNERS SHORE DELECTIONS STREET AND ACTION THE CONTRICTOR'S ORNAING AND PRINCIPATION FOR OWNERS SHORE DELECTIONS STREET AND ACTIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, REID CONDITIONS AN DIMENSIONS FOR ACCIPACY MAD COPERINGE THAT YORK IS DILUCABLE AS SHOWN BEFORE FRO WITH DOCUMENTATION IS THERE ARE AND COSSISTORS RECOVED THESE OR THE CONCENTRAL WITH DOCUMENTATION SHALL SHOWN THEM IN MENTING TO THE ARCHITECT AND IS RESPONSIBLE FOR CHICAMANDA HERTITAL CANDINATION FROM THE ARCHITECT FORCE FOR CROCKEDING HIS HOST.
- ELECTIC YORK IN INCORDANCE WITH ANY AD-ALL PAPILLABLE LOCAL, STATE FEEDING, COCKS ANAMARICATIONS ECONOMISIATION, TANCE AND REFERENCE STANDARDS SELLATION GOT NOT IMPTED TO BC. IEEE, NFPA, ASTM, LIVEL LIVEST ENFORCED EDITIONS. THESE SHALL SUPPLICEDE ENAMANCE, HOTES AND DIMERSIONS HALL CASES. THE ACMITECTE SHALL BE INTERPED OF SUCH CHANGES SEPTORE YORK IS STARTED. DATAM FEBRUATS EXPORT SHALL WE CHANGE SHAPPROVIALS OF ALL RESULATOR! ASCRIGED SHAPPROVIALS OF ALL RESULATOR!
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PAYING FOR AND OBTAINING ALL PERMITS, INSPECTIONS RECURED TESTS AND UTILITY CONNECTIONS UNLESS OTHERWISE NOTED.
- DO NOT SCALE DRAWINGS, DIVENSIONS SHALL GOVERN, DETAILS SHALL GOVERN OVER PLANS AND ELEVATIONS, LARGE SCALE DETAILS SHALL GOVERN OVER SMALL SCALE DETAILS, WHITTEN SPECIFICATIONS SHALL GOVERN OVER ALL.
- 2. CLARFY ALL DISCREPANCIES RELATIVE TO CONSTRUCTION DOCUMENTS, SPECIFICATIONS, AND RELD CONDITIONS PRISE TO SIGNITING BIDS AND COMMERCIAN WORK, IS DIMENSIONS ARE IN CUESTION THE CONTRACTORS WHALE OF RESPONSIBLE FOR CONTRACTOR AUGIT CAPITICATION FROM THE ARCHITECT BEFORE CONTINUING WITH CONSTRUCTION CONTRACTOR MUST VERREY ALL DIVENSIONS IN THE RELD.
- NO SUBSTITUTIONS OF ANY XIND FOR MATERIALS SPECIFIED ON IN ESE CONSTRUCTION DOCUMENTS IS ALLONGE. NO "EQUIVALENT SUBSTITUTIONS WAL BE WADE, WARESA PROPOGED IN MINITING BY ARCHITECT OR OWNER, SUBMITTALS SHALL INCLUDE BUT ARE NOT LIMITED TO THE "SUBMITTAL SEQUENCEMENT MEMORADOUS PROVIDED BY THE ARCHITECT, IN ADDITION, ALL TIENS IND SPECIFIED DIOLOPARIHISTS OR NEUROMADIA DIE VARIENCESSER, OFFIC CONVENTION, OF THE SPICE STANKE FACILIES BUBUTITALS, SCHEDULG DIESTOSTED CONTRACTOR SHALL ALLON'T IS BUSINESS DAYS FOR THE SUBMITTAL REVIEW PROVESSES OF EAST SOMETHIETTEL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISTRIBUTION OF PRAYINGS TO ALL TRADES UNCER HIS JURISDICTION CENERAL CONTRACTOR SHALL COORDINATE ANONG ALL TRADES TO ENSURE PROPER SECURICE AND EXECUTION OF WORK.
- . ALL WORK, SEQUENCING OF WORK, LOCATION OF STAGING AREAS AND USE OF THE LOADING AREA ARE TO BE COORDINATED WITH THE BUILDING OWNER, CONTRACTORS ARE TO GRIZAL AND FOLLOW ALL BUILDING RULES AND OWNER INSTRUCTIONS RECARDING YORK OF THE PREVISES.
- DO NOT PROCEED WITH ANY WORK REQUIRING ADDITIONAL COMPENSATION BEYOND THE CONTRACT ANCOUNT WITHOUT WRITTEN AUTHORIZATION FROM THE CYMER. FAILURE TO OBTAIN AUTHORIZATION SHALL INVANIENCE AND COME OF DETRACTIONS THE OWNER.
- ALL INSTALLED PLUYBING, MECHANICAL, AND ELECTRICAL EQUIPMENT SHALL OPERATE QUIETLY AND FREE OF VIBRATION.
- ALL MATERIALS SHALL BE NEW, LINUSED, AND OF THE MIGNEST QUALITY IN EYERY RESPECT UNLES: OTHERWISE NOTED, MANUFACTURED MATERIALS AND EQUIPMENT SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTION UND.
- COORDINATE ALL WORK WITH BUILDING OWNER SO AS NOT TO DISTURB OR CAUSE DAMAGE TO A
- ANY WORK INVOLVING ALTERATIONS TO EXISTING BUILDING UTILITIES AND RECKIRE UTILITY SHAFT DOWN, SHALL BE COOPDINATED WITH THE OWNER AND SHALL RECKIRE A WINKING OF BY FIVE DAYS NOTICE. THE WORK SHALL BE COMPLETED AT THE CONVENIENCE OF THE OWNER ALLOWING ENOUGH TIME TO COORDINATE SCHEDULES SHAT DOWNS WITH BUILDING OCCUPANTS.
- VEHICA IN THE FIELD, THAT NO CONFLICTS EXIST WHICH WOULD PROHIBIT THE LOCATION OF ANY AND ALL MECHANICAL, TELEPHONE, ELECTRICAL, LIGHTIMS, PLUMBING AND SPRINLER EXAMPLENT (TO INCLUDE ALL REQUIRED PRINCE DUCTYORS AND CONDUT) AND THAT ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENING OF PROVICE CONFIDENTIAL REPORTS.
- Z. "TYPICAL" OR "TYP," MEANS IDENTICAL FOR ALL SIMILAR CONDITIONS U.N.O.
- . "SIMILAR" OR "SIM," WEARS COMPARABLE CHARACTERISTICS TO THE CONDITION NOTED, VERIFY DIMENSIONS AND ORIENTATION ON PLAN.
- YMERE MIN.\* OR "YJE," IS INDICATED ON PLANS, CONTRACTORS SHALL FIELD VERIFY THAT THE DIVENSION IS OBTAINABLE. IF NOT, THE CONTRACTORS SHALL BE RESPONSIBLE FOR CRITAINING FURTHER DIRECTION FROM THE ARCHITECT.
- PROVIDE STRICT CONTROL OF JOB CLEANING AND PREVENT DUST AND DEBRIS FROM MIGRATING FROM CONSTRUCTION AREA
- THE CUNTRACTOR SHALL NOT CLOSE OR OBSTRUCT ANY STREETS, ALLEYS OR WALKS WITHOUT PERMITS
  FROM LOCAL JURISDICTICAL NO MATERIAL SHALL BE PLACED OR STORED IN STREETS, ALLEYS OR WALKS
  WITHOUT APPROVAL FROM LOCAL JURISDICTION
- CONTRACTOR SHALL THOROUGHLY EXAMINE THE PREMISES AND SHALL BASE HIS BID ON THE EXISTING CONDITIONS, NOTWITHSTANDING ANY INFORMATION SHOWN OR NOT INDICATED ON THE CONTRACT DOCUMENTS.
- ALL DRAWINGS AND WRITTEN MATERIAL HEREIN CONSTITUTE THE ORIGINAL AND WIPUBLISHED WORK OF THE ARCHITECT, AND THE SAME MAY NOT BE DUPUCATED, USED, OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.
- THE ARCHTECT HAS NO RESPONSIBILITY FOR AND SHALL NOT BE HELD LIABLE FOR ANY ASBESTOS OR OTHER HAZARDOUS MATERIALS ON THE LOB SITE ASBESTOS OR OTHER HAZARDOUS MATERIALS PRESENT AT THE LOB SITE WILL BE MITIGATED IN COMPLIANCE WITH APPLICABLE LAWS, CODES AND REQULATIONS BY THE POWER.
- CONTRACTOR SHALL SUBNIT A DETAILED PROJECT SCHEDULE, CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION SECUENCING, METHODS AND TECHNIQUES.
- THE CONTRACTOR AND EACH SUB CONTRACTOR SHALL PURCHASE AND MAINTAIN CERTIFICATIONS OF INSURANCE WITH RESPECT TO KNOWERS COMPRISATION, PURICL LEAGUITY AND PROPERTY DAMAGE FOR THE LIMITS AS PECULED BY LAW. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NATIONING, MAINTAINING AND SUFFERVISHING ALL SAFETY PRECAUTIONS IN CONNECTION WITH THE MOOK.
- ALL SUBCONTRACTORS WILL PROVIDE A CERTIFICATE OF INSURANCE TO THE CYMIER PRIOR TO STARTING ANY WORK ON THIS PROJECT, CERTIFICATE OF INSURANCE CARROT BE TERMINATED OR CANCELED

#### GENERAL ARCH, NOTES - CONTINUED

- PROVIDE DOUBLE STUDS AND BLOCKING AS REQUIRED TO SUPPORT EQUIPMENT AND/OR MISCELLA-IEC ITEMS SUCH AS CASENORY, CABINETS, MILLWORK, FIRE EXTINGUISHER CABINETS, WAIL MONITED RE-RETURES, PLUMBINS ACCESSORIES, GARB BARS, COAT HOOKS, AM DALL OTHER WALL-MOUNTED OR.E-
- 5. ALL DRYWALL ABUTTING OTHER MATERIALS SHALL BE FINISHED WINETAL EDGES. 88. ALL INTERIOR DIMENSIONS ARE FROM THE FACE OF GWB PARTITION TO FACE OF GWB PARTITION (FINISHES INTERIOR DIMENSIONS ARE FROM THE FACE OF GWB PARTITION TO FACE OF GWB PARTITION (FINISHES INTERIOR DIMENSIONS).
- PATCH AND REPAIR AS REQUIAL EXISTING CONSTRUCTION, PARTITIONS SOFFTIS, ETC. WITHIN THE SCOPE OF WORK TO MATCH LEVEL OF FINISH OF NEW WORK ON THE JOB.
- 28. PATCH WALLS WHERE ABANDONED OUTLETS HAVE BEEN EITHER REMOVED OR CAPPED,
- CONTRACTORS TO NOTIFY ARCHITECT IMMEDIATELY OF ANY EXISTING BUILDING CONDITIONS OR DEFECTS NOT INDICATED ON THE DRAWINGS.
- ROVIDE FIRE ALARM BELLS, STROBES AND FIRE ALARM PULLS AS REQUIRED BY ALL APPLICABLE OVERHAING CODES AND ORDINANCES, CONTRACTOR TO COORDINATE LOCATION OF ALL SUCHITEMS NOT HOWN ON THE PLAY HITH THE ARONTECT.
- CONTRACTOR TO COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND ALL LOCAL, STATE AND FEDERAL LIFE SAFETY REGULATIONS, INCLUDING BUT NOT LIMITED TO, ACCESSIBLE ROUTES TO BUILDING ECRESS AND OTHER BASE BUILDING AFEA SUCH AS TOLE! TROOMS, STAIRS, ELEVATORS, ETC.
- 2. SIGHT CONTRICTOR WILL ARREST IF COLD, AREA STANDARDS AND REJURED OWN STRUMEROSTOR THE PROTECTION AND OPENT FOR THESE HONOVERS ON SITE. THE ARCHITECT AND ANY PROFESSIONAL COSISS, LANTS AND LES HELD MAPPLIESS OF THE OWNER CREATING, CONTRICTOR AND REAL ANY RANGED TRAVES FOR THE STRUCKTOR FOR ACCOUNTS OF RAMINES OUR DO ARCHITECT ON THE PROPERTY OWNER THE PREACTUAL POST CONSTRUCTION PRIMES OF THIS PROJECT OWNER OF THE PROPERTY OWNER.

#### COORDINATION

- COORDINATE SCHEDILING, SUBMITTALS, AND WORK OF VARIOUS TRADES TO ASSURE AN EFFICIENT AND ORDERLY SECURICE OF INSTALLATION OF INTERPEREDENT ELEMENTS, GENERAL CONTRACTOR (G.C.) MUST COORDINATE WITH OWNERS TO ESTABLISH A CONSTRUCTION SCHEDULE FOR THE WORK.
- VERIFY THAT UTILITY REQUIREMENT CHARACTERISTICS OF OPERATING ECUIPMENT ARE COMPATIBLE WITH BUILDING UTILITIES. COORDINATE WORN OF VARIOUS SECTIONS OF SPECIFICATIONS HAVING INTERCEPENDENT RESPONSIBILITIES FOR INSTAUDING CONNECTION TO DAD PLACING IN SERVICE SUCH ECUIPMENT.
- IN FINISHED AREAS, EXCEPT AS OTHERWISE INDICATED, CONCEAL PIPES, DUCTS, AND WIRING WITHIN CONSTRUCTION, COORDINATE LOCATIONS OF FIXTURES AND OUTLETS WITH FINISH ELEMENTS.
- COORDINATE MECHANICAL AND ELECTRICAL PORTIONS OF WORK WITH OTHER PORTIONS OF WORK, COORDINATE PROGRESS SCHEDULES, INCLUDING DATES FOR SUBJECTALS AND FOR DELIVERY.
- CONDUCT COMPREHENS AMONG SURCONTRACTORS, SEPARATE CONTRACTORS, AND OTHERS CONCERNED WITH WORK, TO ESTABLISH AND MAINTAIN COORDINATION AND SOMEDIAES, AND TO RESCLYE COORDINATION MATTERS INDISPUTE.
- COORDINATE SPACE REQUIREMENTS AND INSTALLATION OF MECHANICAL AND ELECTRICAL WORK WHICH ARE INDICATED BY DRICHARD OR BRANNINGS, FOLLOW ROUTING SHOWN FOR PPES, DUCTS, AND CONDUT, AS CLOSELY AS PRACTICABLE, PLACE RIMEN PARKEL, BY THE MESS OF BUILDING, LITTLE SPECES FEFCIENTLY TO MANINZE ACCESSIBILITY FOR OTHER BISTALLATIONS, FOR MANIFEMANCE, AND FOR REPARS,
- EXECUTE CUTTING, ATTING, AND PATCHING BY METHODS WHICH WILL AVIOD DAMAGE TO OTHER WORK, AND PROVIDE PROPER SUPFACES TO RECEIVE PATCHING AND PRISHING, REPINISH SUPFACES TO WAICH AD ACCIT MINISHES, FOR CONTINUOUS SUPFACES, EMEMS TO MEASEED INTERSECTION FOR AN ASSESSER, REPRESENDED FOR ASSESSER, REPRESENDE
- HT WORK TIGHT TO PIPES, SLEEVES, DUCTS, CONDUIT, AND OTHER PERETRATIONS THROUGH SURFACES, MARITAIN INTEGRITY OF WALL, CEILING, OR FLOCH CONSTRUCTION, COMPLETELY SEAL VOIDS.
- CHASING OR CUTTING OF EASTING CORE AND OTHER FIRE-PATED WALLS FOR INSTALLATION OF NEW CONSTRUCTION SHALL NOT BE PERMITTED.
- COORDINATE USE OF PREMISES UNDER DIRECTION OF BUILDING MANAGER, OBTAIN A COPY OF LANDLORD'S RULES AND REGULATIONS GOVERNING CONSTRUCTION ON PREMISES.
- FCR PRODUCTS SPECIFIED BY ASSOCIATION OR TRADE STANDARDS, COMPLY WITH REQUIREMENTS OF STANDARD, EXCEPT THIREI MORE RICUI REQUIREMENTS ARE SPECIFIED OR ARE REQUIRED BY APPLICABLE CODES, DATE OF STANDARDS IN HAT IN EFFECT AS OR DATE OF MORECONTRACTOR AGREEMENT, EXCEPT INVENTA SPECIFIC DATE

#### INSTRUCTIONS FOR PRICING

- DEFINITIONS
  OTHER REFERS TO GWAER ADDRESS, "ARCHITECT REFERS TO DAS ARCHITECTS, INC., 1828 FK BLVD, SUITE
  1902 PHILADELPHAPA, 19103 "BIDGER REFERS TO PERSON OR ENTITY WHO SURVITS A BID AS A GENERAL
  1904 PHILADELPHAPA.
- BIDDER SHALL CAREFULLY STUDY AND COUPARE BIDDING DOCUMENTS WITH CACH SURCONTRACTOR, AND WITH OTHER WORK BEING BID CONCURRENTLY TO EXTENT THAT IT RELATES TO WORK FOR WHICH BID IS SUBMITTED. SHALL EXAMINE SITE AND LOCAL CONDITIONS, AND SHALL AT ONCE REPORT TO ARCHITECT ERRORS, INCONSISTENCIES OR AMMONITIES DISCOVERED.
- IN LASE OF AN INCOMESTICE. BETTIES DESIGNED. AND SECRETARISES OF AN INTER BITE SECRETARISES OF AN INTERPRETATION OF AN INTERPRETATION OF AN INTERPRETATION OF A STREET PROBLEMS O
- MATERIALS, PRODUCTS, AND EQUIPMENT DESCRIBED IN CONTRACT DOCUMENTS ESTABLISH STANDARD OF REQUIRED FUNCTION, DWEINSKIN, APPEARANCE, AND QUALITY REQUIRED FOR THE PROJECT,
- BIDDER REPRESENTS, BY SUBMISSION OF A BID, THAT BID IS BASED UPON PRODUCTS, EQUIPMENT AND EXECUTION OF WORK AS DESCRIBED IN CONTRACT DOCUMENTS, NO SUBSTITUTIONS SHALL BE ALLOWED

#### CHANGE ORDER PROCEDURES

- ARCHITECT SHALL BE ADVISED OF WINOR CHANGES IN WORK NOT INVOLVING AN ADJUSTMENT TO CONTRACT SUM OR CONTRACT TIME VI ISSUING CLARRICATION NOTICES AND CHANGES IN WORK INVOLVING AN ADJUSTMENT TO CONTRACT SUM OR CONTRACT ITEM BY ISSUING BULLETINS.
- ARCHTECT MAY ISSUE A BULLETIN WHICH INCLUDES A DETAILED DESCRIPTION OF A PROPOSED CHANGE WITH SUPPLEMENTARY OF REVISED DRAININGS, CONTINGATION SHALL PREPARE AND SUBJILT AN ESTIMATE AS OUICLY AS POSSIBLE, INCLUNION A PROPOSED CHAVIER WOOMEN THE FOR PRECEDINGS CHANGE AND PERIOD OF THIS DRAIN CHARGE AND PERIOD OF THIS D
- MAINTAIN DETAILED RECORDS OF WORK DONE ON A TIME AND MATERIAL BASIS, PROVIDE FULL INFORMATION REQUIRED FOR EVALUATION OF PROPOSED CHANGES, AND TO SUBSTANTIATE COSTS OF CHANGES IN WORK, DOCUMENT EACH QUOTATION FOR A CHANGE IN COST OR TIME WITH SUFFICIENT DATA TO ALLOW EVALUATION O QUOTATION PROVIDE DATA TO SUPPORT COMPUTATIONS
- A. ORIGINAND DATE OF CLAIM WITH DATES AND TIMES WORK WAS PERFORMED, BY WHOM AND TIME RECORDS A CHARLAND CHIEF OF THE MITCHES AND TIBES THOMAS THE PROPORTION OF THE MITCHES AND THE AND T
- F. AUSTIFICATION FOR CHANGE IN CONTRACT TIME.
  G. CREDIT FOR DELETIONS FROM CONTRACT, SIMILARLY DOCUMENTED.
- NO ADDITIONS, ALTERATIONS OR CHANGES YILL BE MADE ON THIS PROJECT EXCEPT UPON WRITTEN APPROVAL BY THE ABCHITECT OR OWNER

#### QUALITY CONTROL

- MONITOR QUALITY CONTROL OVER SUPPLIERS, MANUFACTURERS, PRODUCTS, SERVICES, SITE CONDITIONS, AND WORKMANSHIP TO PRODUCE WORK OF SPECIFIED QUALITY,
- INSTALLATION: EXCEPT AS MORE STRINGENT REQUIREMENTS ARE HIDICATED ON THESE DRAWNINGS AND IN THESE HOTES, COMPLY WITH GENERALLY ACCEPTED HOUSTRY STANDARDS AND INSTALL PRODUCTS IN STRICT COMPILIANCE WITH MAINTAINT LOCKED SHOWS INSTALL PRODUCTS IN STRICT.
- WHEN EVALUATING APPEARANCE OR CONFORMANCE WITH DESIGN INTERT, THE WORDS "ACCEPTABLE," "VISIBLE," "INSIBLE, "MAISHEL" "MAISHEL" "AND SWILLAR TERMS OF JUDGWENT SHALL MEAN "ACCEPTABLE, ETC., IN THE CPRINCH OF THE ARCHITECT OR CHINER."
- SECURE PRODUCTS IN PLACE WITH POSITIVE ANCHORAGE DEVICES DESIGNED AND SIZED FOR THE APPLICATION
- PERFORM WORK BY PERSONS QUALIFIED TO PRODUCE WORKMANSHIP OR SPECIFIED QUALITY, FREE FROM DISTORTION OR DISPROJREMENT.

#### CONTRACT CLOSE-OUT

- UPON COMPLETION OF PROJECT AND PRIOR TO FINAL PAYMENT, SUBJUIT (3 COPIES) OPERATION AND MAINTENANCE INSTRUCTIONS, ARRANGED BY SYSTEM, AS A MINAMUM PROVIDE DATA FOR
- A. MECHANICAL EQUIPMENT AND CONTROLS.

  B. ELECTRICAL EQUIPMENT AND CONTROLS.
- PROVIDE INFORMATICH TO OMNER BOAND IN A THREE-RING BROCK. ASSEMBLE DOCUMENTS EJECUTED BY SUBDOTRIRACTORS, SUPPLIERS AND IMMERIACTURERS WITH A TRAILE OF CONTRIENTS, BIRDERS SHALL BICLUDE OPERATION AND MATHEMACE INSTITUTIONS, ARRANCED BY STISTEL FOR BEACH STISTEM LAYE INVEST. ADDRESSES, AND TELEPHONE IMMERS OF SUSCONTRACTORS AND SUPPLIERS, PROVIDE THE FOLLOWING INCOMPANIES.
- A. LIST OF PARTS AND EQUIPMENT.

  8. OFERATING AND MAINTENANCE INSTRUCTIONS.

  C. SHOP DRAWINGS AND PRODUCT DATA YAPRANTES.

  AS-BULL DRAWINGSAMER/LIPS OF FINAL CONSTRUCTION.
- PROVIDE OWNER WITH A WRITTEN WARRANTY COVERING ENTIRE PROJECT FOR 1 YEAR, IN ADDITION, WHERE SEPARATE WARRANTES, FOR CERTAIN PORTIONS OF WORK, APE FOR LONGER PERIODS, CONTRACTOR'S WARRANTY SHALL BE EXTENDED TO COVER SUCH LONGER PERIOD.
- SCHEDIALE A FINAL QLEARING OF PROJECT AT A TIME IMMEDIATELY PRIOR TO ACCEPTANCE OF COMPLETE PROJECT BY CHINER CLEAR SURFACES EXPOSED TO YEAR, REMOVE TEMPORARY LABELS, STAINS AND FC SUSTRIANCES, POLISH TRANSPARENT AND EXTERNED AS CONDITIONS, CLEAR OR REPLACE FILTERS OF MECHANICAL ECAMPENT.
- UPON NOTIFICATION OF COMPLETION OF THE WORK AND DELINERY OF THE CONTRACTOR'S PUNCHUST, THE ARCHITECT SHALL PREPARE A PUNCHUST OF CORRECTIONS, WISAITSFACTORY AND OR RECOVERLETE WORK, FRAM PAYMENT WILL BE CONTRIGORT UPON COMPLETION OF THESE HEMS UNDER THE TERMS AND CONDITIONS OF THE OWNERCONTRACTOR ASSESSMENT.

- RELEASE OF LIERS FROM SUBCONTRACTORS SIGNED BY EACH,
  MINITED OR PRINTED OF PRAINING INSTRUCTIONS ANDOR MANUALS.
  BECKNISTERATION AD PERMANNING ON FEMANDAY, AND BECKRISCAL SYSTEMS TO OWNER,
  BECKRISCAL PARILS PROPERLY LABELED [TYPENRITTEN], YALVES, PIPES, DUCTS, ETC, PROPERLY MARKED
  AND COLOR GOOD,
- AND COLOR CODED.

  5 STSTEMS COMPLETELY BY OFFERIOR WITH BALANCENS COMPLETED.

  F. COMPLETION OF PINCESS CORRECTIONS, OR PROVIDED A VALUE OF UNCOUNTED THEMS.

  FINAL RECEIPMENT TO LEST ALL PROVIDES AND INCOMPLECTION CONDECTOR REQUEST OF EXTRAS.

  FINAL RECEIPMENT TO LEST ALL PROVIDES AND INCOMPLETION CONDECTOR REQUEST OF EXTRAS.

  H. CERTIFICATION OF PINUL PROFECTION FROM MINIORPM. ACREMICES AS REQUIRED.

  FROME CONTRACT SET OFFE AS PLAT FORMINGS TO OTHER.

#### SUBMITTALS

- THE CONTRACTOR IS TO SCHEDULE SUBMITIALS SO THAT ARCHITECT AND BUILDING OWNER MAY REVIEW THEM IN A SEQUENCE WHICH REPLECTS THE LOGICAL SEQUENCE OF THE WORK AND THE RELATIVE PROGRET OF THE CONSTRUCTION COMPONENTS, WHICH PROPORENTIES SCHEDULE AND OCCORDINATE SUBMITIALS FOR RELATED WORK SO THAT TIEMS WHICH MUST BE COORDINATED, SUCH AS COLORS OF FINISHES, MAY BE REVIEWED TOYCH LARD.
- THE CONTRACTOR IS TO REVIEW EACH SUBMITTAL FROM SUBCONTRACTORS AND SUPPLIERS AND VERIFY ACCURACY OF CONTENTS, AS A MINMUM, VERIFY

- A. MATERIAL

  8. RELD DIVERSIONS

  C. ADJACENT CONSTRUCTION

  D. CONFORMANCE WITH SPECIAL ENVIRONMENTAL AND JOB CONCINIONS

  E. COOPPONATION WITH OTHER NORK

  F. CONFORMANCE WITH THE CONTRACT DOCUMENTS
- THE CONTRACTOR IS TO REVIEW STAMP AND SIGN EACH SUBMITTAL TO SKRIFY THAT IT HAS BEEN REVIEWED BY THE CONTRACTOR, AND TRANSMIT TO THE ARCHITECT AND BUILDING OWNER.
- A TRAISMIT ELECTROMORLLY EACH SUBMITIAL WITH ALETTER OF TRANSMITTAL.

  8. DO NOT TRAINISM SUBMITIAL TO ARCHITECT AND SULDING OWNER VAR FACSUME MACHINE.

  9. PROVIDE CLEARLY REACHELE COPIES ON DIS SUBMIT CORDS WHICH AND WITH THE CENTRATION
  PROTOCOPIES OR FACSUME COPIES WILESS TEXT AND DROWARDS AND CLEAR AND PLANS I REPORTED.

  FREQUENCE SUPPLIES AND SYDOORS TO USES SUPPRIME RESOLUTION OF HACKING THROMSSOONS.
- A PREPARE SHOP DRAWINGS SPECIFIC TO THIS PROJECT TO DESCRIBE THE PARRICATION AND RISTALLATION OF PRODUCTS, MAINFACTURERS PREPRINTED STUDIAGN DE THAS ARE NOT SHOP DRAWINGS. DO BOAY CLEAR AND PRESENT CONTRETE INFORMATION LAUGH FAVIAN DA L'EXPRINTORS AND LARGE SCALE DETAILS, AS APPROPRIATE TO THE WORK SHOWN, NOTE FIELD DIMERSIONS AND AD ACENT CONSTRUCTION RICLUSE SCALEDLES PATTERINGS COLLATIONS AND MEMORICAN CORPORATION RISTALLATION AS REQUIRED. COLLATIONS AND MEMORICAN CORPORATION RISTALLATION AS REQUIRED. COLLATIONS AND MEMORICAN CORPORATION RISTALLATION AS REQUIRED. CONTRACT DRAWING SHEET AND DETAIL. SCHEDULE ROOM NUMBER DOOR OF OTHER PROJECULE INSTITUTION.

- THE CONTRACTOR IS TO SUBMIT PRODUCT DATA AS FOLLOWS.
- A. SUBMIT MANUFACTURERS PRE-PRINTED DATA CLEARLY MARK EACH COPY TO IDENTIFY PERTIVENT PRODUCTS OR MODES, CROSS COLT INFORMATION INFORM THOSE TO THE WORK AND SUPPLIMIES STANDARD MECHANIZATION FOR PROSE RECONSISTION WHICH IS SECRETALLY APPLICABLE TO THE WORK. B. SHON PERFORMANCE CHARACTERISTICS AND CAPACITIES SHOW DEVENTING AND CLEAPACHES RECURED SHOW INSTRUCTOR PRINTED WASHINGTON, AND CHARACTERISTICS AND CONTINUES SOCIATION OF THE MEMORY AND CONTINUES SOCIATION OF THE MEMORY AND CONTINUES AND CONTINUES SOCIATION OF THE MEMORY AND CONTINUES A
- PROPER OPERATION AND MAINTENANCE.

  C. SHOP DRAININGS AND ARCHITECTS REVIEW WILL BE SENT BACK ELECTRONICALLY, CONTRACTOR TO PRINT AND DISTRIBUTE COPIES TO SUBCONTRACTORS.
- A. PROVIDE SAMPLES OF ADEQUATE SIZE TO PERMIT PROPER EVALUATION OF MATERIAL INHERE WARMTICKS IN COLOR OR IN OTHER CHARACTERISTICS ARE TO BE EXPECTED, SURWIT SAMPLES SHOWING THE WARMTIMM PANCE OF VIRBILITION.

  8. SURMIT SAMPLES OF INTERIOR FINISHES SIMULTANEOUSLY TO PERMIT COORDINATED SELECTION OF COLORS
- STARM SAWNES OF INTERONT PROSESS SMULT INCLOSE. TO PERMIT COORDINATE STARLED, INCLOSE AND PRISOSSES.
   TAG OR PERMANENTLY MARK EACH SAMPLE TO IDENTIFY THE ITEM, PROCATE APPLICABLE TRANSMITTAL NUMBER ON ITA.
   SLOWITZ OF EACH TYPE REQUIRED, UNLESS OTHERWISE SPECIFIED IN THE SECTION REQUIRING THE SAMPLES.
- PROVIDE CERTIFICATIONS, QUALIFICATION STATEMENTS, TEST REPORTS AND SWILAR SUBMITTALS YNERE SPECIFIED FOR SUBMITTALS, QUALITY ASSURANCE, OR QUALITY CONTROL.
- THE ARCHITECT AND BUILDING OWNER WILL REVIEW SUBMITTALS AS FOLLOWS
- A THE ARCHITECT AND BUILDING OWNER WILL REVIEW GRAY THOSE SUBMITTALS EXPLICITLY REQUIRED BY THE GOTTING TO EXCURPTION OF REQUESTED BY THE ARCHITECT AS THE WORK PROCEEDS.

  B. THE ARCHITECT AND BUILDING GOVERN, MILL STAND PLOTS AS THE WORK PROCEDURED SHOULD NOT BEEN PARENCIATION OF ROSTALLATION OF ROSK FOR WINCHAPCHITECTS REPORT IS REQUIRED SHOULD NOT BEEN WITH THE SUBMITTAL BLACKFOFF AND TO THE ARCHITECT AND PROCEDURED SHOULD NOT BEEN WITH THE SHOULD HAVE BEEN WITHOUT ARCHITECTS AS COLD PRINK.

  C. IT SUBMITTAL IS A SIMPORT BY OR EXPLICATION AS FOLD RESIZES.

  OF IT SUBMITTAL IS A SIMPORT BY OR EXPLICITLY AND ARCHITECTS AS OLD RISK.

  C. IT SUBMITTAL IS A SIMPORT BY OR EXPLICITLY AND ARCHITECTS AND ARCHITECTS THE SHOP DRAININGS PRODUCT DATA OR AND ARCHITECTS ARCHITECTS.

  TO FARROGRAPH OF BOTS ALLATION.

#### RESUBMISSION:

- a. IF JUNITIFIA. IS TAINED TRENSE AND RESIDENT MAKE CORRECTIONS ON CHANGES REQUIRED BY THE ARCHITECT IN THE SHABITITIES AND RESIDENT WITH A CONCEPTIO.
  b. IF SHABITITIAL IS STAINED PRESCRIED RESIDENT IN CONFORMANCE WITH THE CONTRACT DOCUMENTS.
  C. INFESTIMENTIAL ONLY WITH REQUIREMENTS SPECIFIED FOR THE WITH A SWAPTIAL TRANSMITTAL RESIDENTIAL WITH A REPURE LETTER OF TRANSMITTAL AND NOTE THE TRANSMITTAL MUBBER OF THE PRIST SUBJECTION THE TRANSMITTAL FORM.
- A. SHOP DRAWINGS FOR ALL FABRICATED ITEMS, INCLUDING BUT NOT LIMITED TO

#### SUBMITTALS - CONTINUED

NO SUBSTITUTIONS OF ANY MIND FOR MATERIALS SPECIFIED ON THESE CONSTRUCTION DOCUMENTS IS ALLOWED.

NO ECCURAGENT SMOSTIMMORS MILL BE MADE, ULSESS APPROVED IN WINDING IN ARCHECT OR OWNER.

PROVINCED IN THE ACCRETECT IN ACCOUNT. ALL FIEST HOT DESCRIPTION OF OWNERS ON REMINDANDMENT AND FOR SECOND AND STATEMENT OF THE STATEMENT OF T

#### GENERAL DEMOLITION NOTES

- G.C. IS RESPONSIBLE FOR DESIGN AND IMPLEMENTATION OF ALL TEMPORARY SHORING REQUIRED TO COMPLETE YORK AS INDICATED ON THESE DRAININGS.
- PRIOR TO DEMOLITION, CYMER IS TO OBTAIN A PHASE I EINTRONMENTAL REPORT FOR BUILDINGS CONSTRUCTED PRIOR TO 1920
- FOR RENOVATION PROJECTS, ALL CONSTRUCTION IS SHOWN AS EXISTING TO REMAIN UNLESS NOTED OTHE PROTECT ALL EXISTING ELEMENTS TO REMAIN DURING THE DEMOLITICINCONSTRUCTION PHASE, CONTRACTOR SHALL BE RESPONSIBLE FOR SELECTIVE DEMOLITION AND REINSTALLING OR PATCHING OF EXISTING CONDITIONS TO REMAIN WHERE NECESSARY TO PROVIDE NEW/REPLACEVENT UTILITIES/EQUIPMENT IN CONCREALES PARCES.
- THE FREMISES SHALL BE IN COMPLIANCE WITH ALL CURRENT LOCAL LAYS IN OPDER TO PERMIT DEMOLITION IN ACCORDANCE WITH THIS PLAN.
- CONTRACTOR TO VERIFY ALL BUILDING STANDARD REQUIREMENTS, PINISHES & SPECIFICATIONS PRIOR TO BIO CONTINUED TO PROTUPE TEMPORARY PROTECTIONINAL BUILDING AREAS USED THROUGHOUT OPEN LOBBOURD TO PROTECTION AND IN ALL EXISTING AREAS USED THROUGHOUT OF DESTRICTION, AND IN ALL EXISTING AREAS TO REMAIN AND DAMAGE TO SUSTRICTION AND IN ALL EXISTING AREAS TO REMAIN OF THE REPROTECTION FOR THE REPROTECTION FOR THE REPORT OF THE CONTRACTOR OWNERS SHARED TO REPORT OF THE REPORT OF THE CONTRACTOR OWNERS SHARED TO REPORT OF THE REPORT OF THE
  - CONTRACTOR TO MAINTAIN ALL EGRESS DOORS, AND ACCESS TO ALL EXIT DOORS THROUGHOUT ALL DEMOLITION.
- ANY DISRUPTED FIREPROOFING OF ALL BUILDING STRUCTURAL MEMBERS AND ANY DISRUPTED FIRESTOPPING WITHIN DEMISING WALLS, PLOORS, AND CELLINGS SHALL BE SUPPLEMENTED AFTER DEMOLITION IN ACCORDANY WITH ALL CURRENT APPLICABLE BUILDING CODES.
- GC, SHALL REMOVE ALL WIPING AND CABLING FROM DEMOLISHED PARTITIONS AND CEILING PLEMMS, CIRCUITS NO LONGER HINSE, ARE TO BE REMOVED BACK TO THE CIRCUIT PANEL, DATA CABLE NO LONGER PART OF THE BUILDING SYSTEM IS TO BE REMOVED BACK TO DATA CLOSET, TELEPHONE CABLING NO LONGER ACTIVE TO BE REMOVED BACK TO THE PUNCH-DOWN BLOCKS.
- PATCH EXISTING CONSTRUCTION TO REMAIN WHERE DEMOUTION HAS OCCURRED.

ALL FLOOR OPENINGS, HAZARDS, AND UNSAFE CONDITIONS ARE TO BE PROTECTED.

- CONTRACTOR SHALL PAY FOR AND OBTAIN ANY AND ALL NECESSARY BUILDING PERWITS. . IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSPECT AND ASSESS THE EXISTING CONDITIONS AND NOTIFY THE ARCHITECT OF ALL DISCREPANCIES PRIOR TO BEGINNING THE WORK,
- ALL EXISTING WORK TO BE REMOVED SHALL BE DONE IN ACCORDANCE WITH DOCUMENTS. THE CONTRACT TO MOTHER ARCHITECT OF ANY DISCREPANCES BETWEEN THE DOCUMENTS AND RELD CONDITIONS, CONTROL NOTHING AND THE OFFICE OF A PROPERTY OF THE OFFICE OF A PROPERTY OF THE OFFICE OF A PROPERTY OF THE OFFI
- ALL DEMOLISHED MATERIALS WHICH ARE TO REMAIN MUST BE CLEARLY MARKED PRIOR TO THE START OF WORK, THESE MATERIALS ARE TO BE PROPERLY STORED AND PROTECTED.
- ALL BUILDING SYSTEMS MUST BE PROPERLY TERMINATED, CAPPED OR REMOVED, ALL LIFE SAFETY SYSTEMS ARE TO REMAIN ACTIVE AND THE SPACE IS TO BE LEFT IN SAFE CONDITION.
- ALL FLOOR COVERINGS WITHIN THE WORK AREA ARE TO BE REMOVED DOWN TO THE EXISTING SLAB/SUB-FLOOR DECKING WHERE NEW FINSHES ARE TO BE INSTALLED, U.H.O. CONTRACTOR TO ENSURE THAT ANY DEMOUTION REQUIRING "EXC OCCUPANCY HOURS, COORDINATE WITH OWNER.
- CONTRACTOR TO CONTACT CRINER TO SCHEDULE A SHUTDOWN WHEN IT BECOMES NECESSARY TO TEMPORARILY DISTURB SYSTEMS TO PERMIT DEMOUTION. CONTRACTOR TO ALLOW MUST BE IN WRITING.
- CONTRACTOR TO PROVIDE SUPPLEMENTAL LIGHTING SUFFICIENT FOR SAFE WORNING CONDITIONS THROUGHOUT COURSE OF DELICE INCOMES A CONSTRUCTION
- CONTRACTOR TO HISTALL FILTER OR GAUZE MATERIAL AT BUILDINGS HVAC RETURN CPENINGS TO MINIMIZE DUST IN HVAC SYSTEM. CONTRACTOR TO COORDINATE PLACEMENT OF DUMPSTER WITH OWNER. CONTRACTOR TO REMOVE ALL TOOLS, EQUIPMENT AND DEBRIS FROM SITE LIPCN COMPLETION OF DEMOLITION WORK. REMOVE TEMPORARY PROTECTION AND LEAVE INTERIOR AREAS BROOM QLEARL
- SUB-CONTRACTORS TO PROVIDE ALL NECESSARY ENGINEERING SERVICES AND PROVIDE COCROBATION REQUIRED FOR ALL MACA, MECHANICAL, AND PLUMBING WORK WHERE WORK, INDICATED IS TO BE COMPLETED USING THE DESIGN BUILD METHOD.
- GENERAL CONTRACTOR (G.C.) MUST COORDINATE WITH OWNER TO ESTABLISH A CONSTRUCTION SCHEDULE FOR THE WORK.

#### GENERAL CEILING NOTES

- REFER TO THE ARCHITECTURAL PLANS FOR PARTITION TYPES THAT PENETRATE THE CEILING
- PROVIDE NEW STROBES, ALARMS, FIRE PULLS & SMOKE DETECTORS AS REQUIRED, SUBMIT A LOCATION EMGRAM FOR THESE ITEMS TO THE ARCHITECT FOR HIS REVIEW, ALL STROBES, ALARMS, FIRE PULLS & SMOKE DETECTORS CONTRACTOR TO COORDINATE SPRINLER HEAD AND AIR DIFFUSER LOCATIONS WITH ALL ITEMS SHOWN ON THE REPLECTED CEILING PLAIL CONTRACTOR TO SUBWIT DIAGRAMS SHOWING SPRINLER HEAD & AIR DIFFUSER LOCATIONS FOR THE ARCHITECTS REVIEW.
- EVERGENCY LIGHT FIXTURES AND SIGNS TO REMAIN UNLESS NOTED OTHERMISE. CONTRACTOR TO COC EVERGENCY LIGHTING WITH NEW LAYOUT AND RELOCATE FIXTURES AS REQUIRED TO MEET CODE.
- CENTRACTOR TO COORDINATE ALL ACCESS PAVEL LOCATIONS FOR ALL MECHANICAL UNITS AND SUPPLY ARCHITECT WITH SPECIFICATIONS ON MECHANICAL UNITS AND ACCESS PAVELS FRICE TO PISTALLING, ACCESS PAVELS TO BE PAVILED TO MATCH CEILING COLOR, ACCESS PAVILES TO BE "CHICAGO METALLIC GRO" BY ROCKOPIO RECULOR.
- ALL DIFFUSERS AND SPEAKERS TO BE PAINTED TO MATCH CEILING COLOR. CONTRACTOR TO VERIFY ALL DIFFUSER & GRILLE LOCATIONS WITH ARCHITECT BURING MECHANICAL DESIGN
- CONTRACTOR TO PROVIDE COLOR OPTIONS FOR OUTLETS, FACE PLATES, SWITCHES, AND SWITCH COVERS TO ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. ALL FIXTURES DEVICES SHALL BE INSTALLED IN STRICT COMPLIANCE WITH MANUFACTURERS SPECIFICA APPLICABLE BUILDING CODES.
- ALL FIXTURE SWITCH LOCATIONS AND TYPES SPECIFIED ON THESE PLANS SHALL BE COORDINATED WITH THE ARCHITECT & OWNER PRICE TO INSTALLATION. SWITCHES NOT SHOWN AS YELL AS SMITCHES SHOWN ON PLAN AS DIMMING BUT NOT ON A SPECIFIC WALL ARE TO BE LOCATED PER ARCHITECTS OR RECEION (PI).
- CONTRACTOR TO PROVIDE ARCHITECT WITH SPEC SHEET FOR EACH LIGHT FIXTURE PRIOR TO PURCHASING A INSTALLING, ALL FIXTURES TO BE APPROVED BY OWNER A ARCHITECT PRIOR TO PURCHASING A INSTALLING. CONTRACTOR TO PROVIDE LIGHT BUILD TYPE INFORMATION FOR EACH LIGHT FIXTURE PRIOR TO PURCHASING A INSTALLING FIXTURES. ALL BUILD TYPES TO BE APPROVED BY OWNER & ARCHITECT AND PROVIDED BY
- S. CONTRACTOR TO CONFIRM ALL VOLTAGES.
- CONTRACTOR TO COORDINATE LOCATION OF ALL EMERGENCY LIGHT PATURES, EXIT SIGNS AND SWITCHES WITH ADDITION THE RIFLE OF PRIOR TO WIREWAY DISTAIL ATTICKS.
- ANY CIRCUITING SHOWN ON THIS PLANTS FOR CONTROL INTENT ONLY. ELECTRICIAN TO CONFIGURE LOADS AND CIRCUIT REQUIREMENTS. ALL PAYTURES IN ACT CEILINGS TO BE INDEPENDENTLY SUPPORTED AND CENTERED IN TILE, U.H.O.
- CONFIRM EXIT SIGN MOUNTING LOCATION WITH ARCHITECT PRIOR TO INSTALLATION, EXTRAS WILL NOT BE APPROVED FOR RELOCATION OF DEVICE DUE TO FAILURE, ON THE CONTRACTORS PART, TO REVIEW FINAL LOCATION WITH THE ARCHITECT. SHOULD DISCREPANCIES BETWEEN MECHANICAL AND ARCHITECTURAL DRAWINGS APISE IN REGARD TO LIGHTING FIXTURES OR SWITCH PLACEMENT, ARCHITECTURAL DOCUMENTS SHALL GOVERN ALL YIALL MOUNTED ENERGENCY LIGHTS & EXIT SIGNS TO BE MOUNTED 12' BELOW CEILING TO CENTER OF FIXTURE UNLESS NOTED OTHERWISE.

#### MATERIALS AND EQUIPMENT

- LOCATE REQUIRED LABELS AND STAMPS WHERE REQUIRED FOR OBSERVATI ACCESSIBLE SURFACE WHICH, IN OCCUPIED SPACES, IS NOT CONSPICUOUS,
- EXCEPT AS OTHERWISE INDICATED FOR REQUIRED LABELS, DO NOT PERMANENTLY ATTACH OR IMPRINT MANUFACTURERS OR PRODUCERS NAMEPLATES OR TRADEMARKS ON EXPOSED SURFACES OF PRODUCTS WHICH WILL BE EXPOSED TO VIET.
- (RANSPORT PRODUCTS BY METHODS TO AVOID PRODUCT DAMAGE, DELIVER PRODUCTS IN UNDAMAGED CONDITION IN MANUFACTURER'S UNOPENED CONTAINERS,
- PROVIDE EQUIPMENT AND PERSONNEL TO HANGLE PRODUCTS BY METHODS TO PREVENT DAMAGE.
- PROMPTLY INSPECT SHIPMENTS TO ASSURE THAT PRODUCTS COMPLY WITH REQUIREMENTS, QUANTITIES ARE CORRECT AND PRODUCTS ARE UNDANAGED.
- STORE PRODUCTS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS, WITH SEALS AND LABELS INTACT AND LEGBLE. STORE SENSITIVE PRODUCTS IN EXCLOSURES, MAINTAIN TEMPERATURE AND HUMIDITY RANGES REPOLIVEMENT BY MAINTAINTHER PRODUCTS.

#### GENERAL FINISH NOTES

- PROVIDE CONTROL SAMPLES OF ALL FINISHES FOR APPROVAL TO ARCHITECTIONSIGNER AND OWNER PRIOR TO START OF NORK.

- RINISH CODES FOR TYPICAL MATERIALS AT EACH AREA ARE NOTED IN LIST FORM ON THESE DRAWINGS, FOR ACCENT WALLS OR EXCEPTIONS TO THE TYPICAL INISHES, MATERIALS ARE NOTED WITH ARROWS DEPICTING OCATION. REFET TO ELEVATION PRAYMINGS FOR ADDITIONAL, PIRISH LOCATION INFORMATION.
- SEE INTERIOR ELEVATION DRAWINGS AND REPLECTED CEILING PLANS FOR ADDITIONAL FINISH INTREFER TO MILLWORK DETAILS FOR EXACT MILLWORK FINISH LOCATIONS.
- CONTRACTOR IS REQUIRED TO SUPPLY DYNER WITH CLEANING AND WARRANTY INSTRUCTIONS FOR INSTALLED MATERIALS INCLUDING BUT NOT LIMITED TO FLOORING, LAMINATES, SOLID SURFACE MATERIALS, CELLING TILES, VIPILI, VIALLOCYEMICS, TILES AND GROUTS.
- SEE SEPARATE SIGNAGE SCHEDULE FOR SIGNAGE PSYSHES

SEE HARDWARE SCHEDULE FOR HARDWARE FINISH INFORMATION

PROVIDE NEW TRIM WHERE MISSING, MATCH AN MOENT PROFILE

- SEE SEPARATE PLUMBING FIXTURE & ACCESSORY SCHEDULES FOR RESTROOM FIXTURE FINISHES.
- MILLWORK CONTRACTOR IS RESPONSIBLE FOR ALL MILLWORK ITEMS. REFER TO SEPARATE MILLWORK DETAILS FOR EXACT PHASH LOCATIONS.
- REFER TO FINISH SCHEDULE FOR FINISH SPECIFICATIONS. ALL EXISTING PAINTED DOORS & FRAMES TO REMAIN ARE TO BE RE-PAINTED TO MATCH EXISTING FINISH, U.H.O.
- ALL EXISTING PAINTED WINDOW CASING AND TRIM TO REMAIN ARE TO BE RE-PAINTED TO MATCH EXISTING, U.N.O.

#### ALL CAVE WALL SURFACES TO BE PAINTED ARE TO BE PREPED TO A LEVEL 4 RINSH, U.N.O. ALL NEWEXISTING SURFACES BIOICATED TO BE PAINTED ARE TO HAVE (2) COATS OF PRIMER AND (2) COATS OF FRISH PAINT,

- EXTERIOR ENCLOSURE GENERAL NOTES THE BUILDING IS PROTECTED BY THREE PRIMARY IN EMBRANE SISTEMS, BELOW-GRADE WATERPROOFING, THE AIR BARRIEWAMMER RESISTING BARRIER ON ABOVIC GARDE EXTENSION WILL ADDI BOOFFINGHORGOTHAN. THE AIR MATERPROCROTE FOR PROGRAMA, ABOVIC GARDE SUSPACES, BUCH STSTEM SHULL BE ENTAILED COMTINUOUS AND WITHOUT GAPS AS INDICATED, EACH STSTEM SHULL BE TED TO THE DIVER HITH A CONTINUOUS AND WATERFIRMS OF THE PROPRIED CHILL.

  1. THE MATERPROCROME TO THE GROUND AND BARRIER PROSTING RESISTING BARRIER WITH A SHIFULED OVERTAPPED, DATE A A POSING ABOVIC GRADE LIKE AS INDICATED.
- TIE ROOFING AND WATERPROOFING TO THE AIR BARRIERWATER RESISTIVE BARRIER BY EXTENDING ROOFINGWATERPROOFINS MEMBRANES OF AND ACROSS PARAMETS AND ROOF EDGES TO LAP OVER AND SEAL TO THE AIR BARRIERWATER RESISTIVE BARRIER. PROVIDE STAINLESS STEEL FLASHING IF NECESSARY TO CONNECT INCOMPATIBLE MEMBRANES.
- MOVING SIMPLESS SIELT POWERED RECESSORY IN CONTROLL TO WARD PROPERTY AND A PRESENT AND FREE PROPERTY SEALED FOR CONTINUOUS WAS TERRICH PERFORMANCE BEFORE RISTALLING OFFER TYPIGHTORS.
   ARCHOFT THE MEMBERS LES AS STEED OF PRIMARY INVERSIONS OF MITH BELATED TRAINISTON, TERMINATION AND ACCESSORY PROPULTS. THE CATHOTY OF FACH PRESENCE SYSTEM IS SHOWN ON THE DRAINISTS BUT FERRY INSTRUMENT OF MAD ACCESSORY PROPULTS. THE CHARGE SEASARY SHOWN OF LABELED, PROPULE THE COMPLETE REMINANCE SYSTEM INCLUDING REALTED TRAINISTICK. TERMINATION AND ACCESSORY PROPULTS THE OFFENDE THE REMINANCE SYSTEM INCLUDING REALTED TRAINISTICK. TERMINATION AND ACCESSORY PROPULTS AS COUNTY TO SHOW THE PROPULT AND ACCESSORY PROPULTS AS COUNTY TO SHOW THE PROPULT AND ACCESSORY PROPULTS AS SHOWN THE PROPULT AND AND ACCESSORY PROPULT AND AND ADMINISTRATION AND ACCESSORY PROPULTS AS SHOWN THE PROPULT AND AND ACCESSORY PROPULTS AS SHOWN THE PROPULT AND AND ACCESSORY PROPULTS AS AND ACCESSORY PROPULT AND AND ACCESSORY PROPULT AND AND ACCESSORY PROPULTS AND ACCESSORY PROPULT AND ADMINISTRATION AND ACCESSORY PROPULT AND ACCESSORY PROPUL
- A TEMPE ROUSE DEFINACION AS PRIMATELLE AT EXPENSION PLANT PROPERTIES AND ACCESSORY OPENING IN THE EXTERIOR WALL FOR DOORS, INDIONY MALL CURTAIN WALL COMPRIS OR DIMER SURLAR RECENSIONAR PREFERÂNCIS WARP THE ARR BARREWHATER RESISTIVE EMBRACER WITH THE OPENING WAS PROPERTIES FOR THE PROPERTIES OF THE OPENING WAS PROPERTIES FOR WATER THAT OF THE THAT THE OPENING WAS PROVIDE TERMINATION FOR THAT THAT THE OPENING WAS PROVIDED TERMINATION FOR THAT THAT THE OPENING WAS PROVIDED TERMINATION FOR THAT THAT THE OPENING WAS PROVIDED THAT THE OPENING WAS
- DETAILS, PROVIDE TERMINATION TRANSITION AND ACCESSORY REVIEWARES AND ACCESSORY PRODUCTS SHEETING POT VALIDED ON TOUGHTS.

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- HIGH PERFORMANCE COATING AS SPECIABED IN SECTION (699) TO EXTERIOR HIGH-PERFORMANCE COATING.

  SEAL PERFORMANCE THE EXTERIOR OF THE BUILDING AND ONLY THE INTERIORS DESCRIBED ONLY THE OWNER OF THE SEAL PROMISES WHITE CHECKER'S SEALANT AND THE PERFORMANCE PERFORMANCE OF THE PERFORMANCE SEALANT AND THE PERFORMANCE AND THE PERFORMANCE AND THE PERFORMANCE AND THE PERFORMANCE SEALANT AND THE SEALANT AND THE PERFORMANCE SEALAN
- INSTALL PRESERVATIVE TREATED PLYMOOD IN LIEU OF STANDARD NON-TREATED PLYMOOD WHEN SHEATHING IS WITHAN TO GENOLE OF WHEN OTHERWISE RECONNENDED BY PLYMOOD MANUFACTURER AND WHERE INDICATED ON THE DRAWNING. INDICATED ON THE DAMNIAGS.

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#### **ROOFING GENERAL NOTES**

- EVERY PENETRATION (NO. UDING BUT HOT LIMITED TO DUCTS, PIPES, CONDUTS, SIEDNES, AND BOXES) THROUGH THE ROOF MUST BE EXALED INJURISHINGHT TO THE ROOFING MEMBRANE BIOCATED ON THE ARCHITECTURAL DAMINGS IN ACCORDANCE TO ROOFING MANAGEMENT RESTRICTIONS. PROVIDE SPAR FORMING RANGE AND ROMANIES SEALUHT AROUND EXPERITABING EXPENT AIR EMALINATER OF ROOFIN SHALLINGLY. COORDINATE ROUGH HI OF PIDETRYLOIS WITH CONSTRUCTION OF THE ROOF TO DILLOID FOR AIR SEQUENCE.
- 2. PENETRATIONS FOR MERKIG GF ANY TYPE THOROUGH THE ROOF SHILL BE MOSE WATERTIGHT CONDUIT, BTHER INT, BUT CR ROOF, PROPERLY TERMINATED WITH A COOSEFECK TO BLUMBATE WATER PENETRATIONS. FLURING CONCLUT PENETRATIONS THOROUGH THE ROOF WERBANNE AND TO ALL LONGE. TRENSITION HE PUBLIC PROPERLY INT. BUT OR ROOF CONDUIT AT BUT AND THE PUBLIC PROPERLY THE ROOF WERBANNE AND THE PUBLIC PROPERLY AND THE ROOF WERBANNE. BUT WERE PENETRATION THROUGH THE ROOF WERBANNE. BUT WERE PENETRATION THROUGH THE ROOF WERBANNE. BUT WERE PENETRATION THROUGH THE ROOF WERBANNE. BUT ALL LONGE. COORDINATE MULTIPLE ROOF PENETRATIONS THROUGH THE ROOF, INCLUDING PEN TRADES. TO BE CLUSTERED TOGETHER IN A PIPE CURB ASSEMBLY.

A. COORDINATE LOCATION OF MULTIPLE ROOF PENETRATIONS THROUGH THE ROOF, MOLUDING PENETRA VARIOUS TRADES YINICH CARNOT BE ROUTED THROUGH A PIPE CURB ASSEMBLY TO MAINTAIN PROPER DIMENSIONS BETYPER PENETRATIONS AND ADJACENT CONSTRUCTION TO ALLOW FOR ROOF FLASHING



PROJECT NUMBER

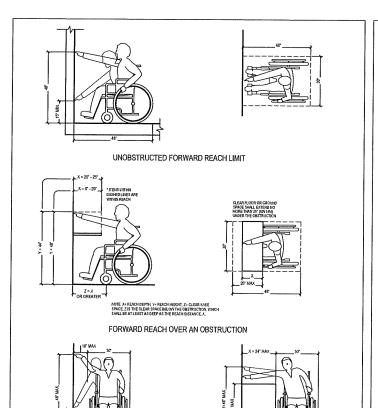
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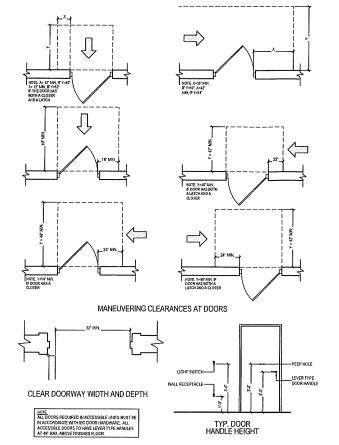
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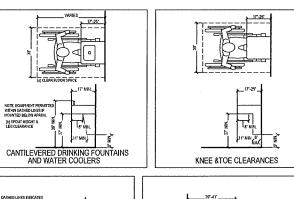
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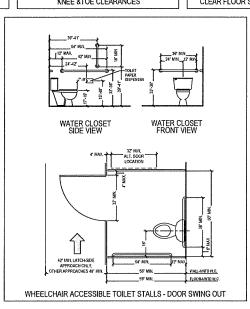


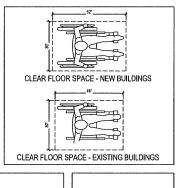


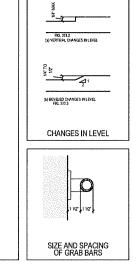
UNOBSTRUCTED SIDE REACH LIMIT

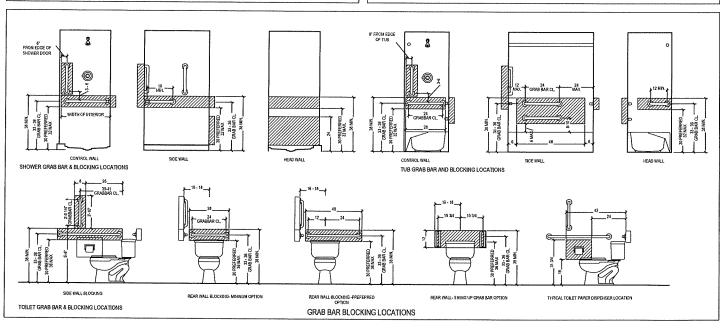




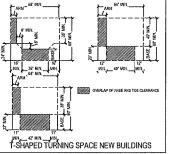








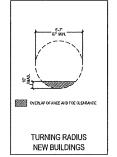
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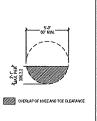


LEG CLEARANCES

CLEAR FLOOR SPACE @ LAVATORIES AND SINKS







TURNING RADIUS
EXISTING BUILDINGS

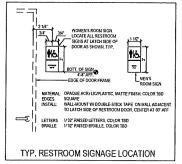
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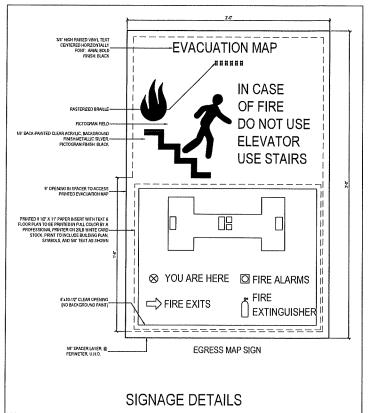
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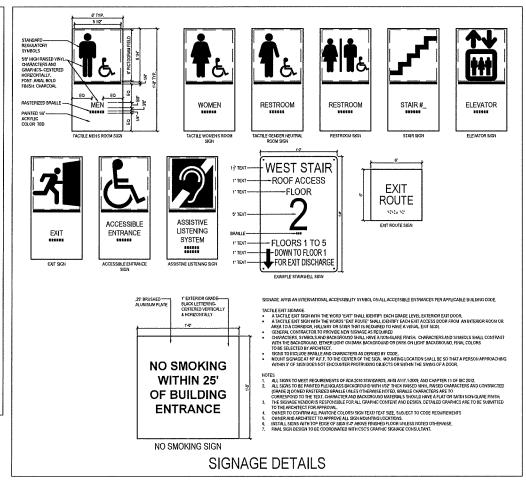
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## CHAPTER 11 OF IBC-2021 & ICC A117.1-2017 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES STANDARDS









SPACEAUSE	FLOOR AREA (SF)	OCC'T FACTOR (OCC'T/SF)	OCCUPANT LOAD	ACTUAL OCCUPANT LOAD
OFFICES	607	1/100	7	7
LOBBY	231	1.5	47	47
LEO FRASER ROOM	153	1.5	31	31
SONNY FRASIER ROOM	258	1,5	58	58
McDERMOTT ROOM	511	1,5	103	103
STORAGE	708	1/200	3	3
PRE-FUNCTION A & B			0	0
WAIT STATION	123	1/200	. 1	1
GREEN ROOM (UNCONCENTRATED SEATING)	165	1/15	11	20
GREEN ROOM (FIXED SEATING)			10	10
BAY ROOM	205	1/15	14	26
KETCHEN 115	1,801	1/200	10	10
TAP ROOM (BAR EMPLOYEE)	165	1/200	1	2
TAP ROOM (UNICONCENTRATED SEATING)	788	1/15	52	86
TAP ROOM (FIXED SEATING)			12	12
TAP ROOM (CHAIRS CHLY)	44	1/7	7	10
KITCHEN 117	519	1/200	3	3
LOCKERS 120 (UNCONCENTRATED SEATING)	973	1/15	85	66
LOCKERS 120 (LOCKER STORAGE)	1,497	1/50	30	30
LOCKERS 119 (LOCKER STOPAGE)	580	1/50	12	12
OFFICE 122	162	1/100	2	2
PRO SHOP	978	1/90	17	17
MECH / STORAGE 124	398	1/300	2	2
CFFICE 126	105	1/100	2	2
STORAGE 128	126	1/300	1	1
BAG STORAGE	632	1/300	3	3
STORAGE 134	61	1/300	1	1
STORAGE 135	121	1/300	1	1
SIMULATOR 138 (UNICONCENTRATED SEATING)	247	1/15	17	18
SIMULATOR 126 (STANDING - DRINKRAL)	104	1/5	21	21
SIMULATOR 136 (STANDING - BAR)	21	1/5	5	5
SIMULATOR 136 (BAR EMPLOYEE)	25	1/200	1	1
SIMULATOR 137 (UNCONCENTRATED SEATING)	323	1/15	22	22
SIMULATOR 137 (FIXED BENCH SEATING)			16	16
SIMULATOR 137 (SIMULATOR)			3	3
LOCKERS 201	318	1/50	7	7
		SUBTOTAL	584	644

OCCUPANT L	OAD TAB	JLATIONS -	- ADDITIO	N
SPACE/USE	FLOOR AREA (SF)	OCC'T FACTOR (OCC'T/SF)	OCCUPANT LOAD	ACTUAL OCCUPANT LOAD
	1ST FLO	DOR		
STORAGE	90	1/300	1	1
WARMING KITCHEN	900	1/200	5	4
BALL ROOM ENTRY	445	1/5	89	89
BALLROOM TERRACE	434		-	-
BALLROOM	4,828	1/15	322	322
BAR (ENPLOYEE)	183	1/200	1	,
STORAGE	143	1/300	1	1
	2ND FU	OOR		
BALCONY	212			
		SUBTOTAL	419	418
TOTAL OCCUPANT LOAD				418

#### CODE SUMMARY

#### APPLICABLE CODES:

USE GROUP:

OCCUPANCY LOAD:

2021 INTERNATIONAL BUILDING CODE, NEW JERSEY EDITION
2021 NATIONAL STANDARD PLUMBING CODE, NEW JERSEY EDITION
2020 NATIONAL ELECTRICAL CODE
2021 INTERNATIONAL ENERGY CONSERVATION CODE
2021 INTERNATIONAL ENERGY CONSERVATION CODE
2021 INTERNATIONAL MECHANICAL CODE

[CC/ANSI A117,1-2017; ICC 300-2017 ACCESSIBILITY CODE:

PROPOSED: A2 (BALLROOM)
EXISTING: A2 (BANQUET HALL & RESTAURANT) WITH ACCESSORY USES OF B (GOLF CLUB),
M (PRO-SHOP), & S-1 (LOCKER ROOMS)

CONSTRUCTION TYPE:

ADDITION VA

REFER TO THE "OCCUPANCY LOAD TABULATIONS" TABLE FOR TOTAL OCCUPANCY

FIRE PROTECTION SYSTEM: FULLY SPRINKLERED PER NFPA 13

MAXIMUM HEIGHT ALLOWABLE: 3 STORIES, 70'

ACTUAL HEIGHT: PROPOSED 2 STORIES, 35'-0"

MAXIMUM AREA ALLOWANCE: 46,000 SF PER STORY AT ADDITION

GROSS BUILDING AREA:

EXISTING
27,046 GSF
(EXISTING FIRST FLOOR)
318 GSF
(EXISTING LOFT AT MEN'S LOCKER ROOM)
(EXISTING 2ND FLOOR)

PROPOSED ADDITION: 5,493 GSF (BASEMENT) 6,512 GSF (1st FLOOR) 139 GSF (2nd FLOOR)

#### EXIT & TRAVEL DISTANCES:

MINIMUM NUMBER OF EXITS:

(2) MINIMUM AT THE ADDITION MAX, DISTANCE TO EXITS: 250 FEET WITH SPRINKLER SYSTEM

DEAD END CORRIDORS:

20 FEET MAX (WITH SPRINKLER SYSTEM @ A USE GROUP)

75 FEET MAX WITH LESS THAN 50 OCCUPANTS 30 FEET MAX WITH 50 OR MORE OCCUPANTS COMMON PATH OF TRAVEL:

FIRE RATING:

STRUCTURAL FRAME
BEARING WALLS - EXTERIOR
BEARING WALLS - INTERIOR
NON-BEARING WALLS - EXT.
NON-BEARING WALLS - INT.
FLOOR CONSTRUCTION
ROOF CONSTRUCTION
SHAFTSHELEVATOR HOISINAYS
VERTICAL EXIT ENCLOSURES 1 HOUR
1 HOUR
1 HOUR
1 HOUR
1 HOUR
1 HOUR IF < 30" SEPARATION; 0 HOUR IF > 30" SEPARATION
1 HOUR
1 HOUR
1 HOUR
1 HOUR
1 HOUR
1 HOUR

EGRESS WIDTH:

CORRIDOR

44" CLEAR MIN. 48" CLEAR MIN. STAIR

DOOR 32" CLEAR MIN

PLU	IMBING	FIXT	URE LOAD	S						
ASSEMBLY SPACES	- 1,962 CCC	UPANTS								
IBC TABLE 2902.1:	A2 ASSEMB	.Υ								
EXISTING - 644 OCC	UPANTS			ADDITION - 418 OCCUP	PANTS					
FIXTURES			ARED	FIXTURES REQUIRED			PROVIDED			
	MALE	FEMALE	FAMILY/ASSISTED USE		MALE	FEMALE	FAMILY/ASSISTED USE	MALE	FEMALE	FAMILY/ASSISTED USE
WATER CLOSET	5	5		WATER CLOSET	3	3	1 .	3	- 8	1
LAVATORIES	2	2		LAYATORIES	LAYATORIES 2 2 1		5	6	1	
URINALS	-			URINALS			4			
DRINKING FOUNTAINS			2	DRINKING FOUNTAINS	T		1			3

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Online Contains For Assembly use will be provided by the FREE Water dispersee on the soda Fourtain Maches.

(2) ISSEMBLY GROWING FOUNTAINS ARE TO BE PROVIDED FOR BUSINESS IN FOR PEOPLE WHO USE A RIFECTOWN A 1) FOR STANDARD FOR SOCIAL STREET OF SOCIAL STR

ATLANTIC CITY COUNTRY OF UB

BALL ROOM ADDITION

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NORTHER BALL NUMBER

NOR DAS ARCHITECTS +INTENIORS DAS ARCHITECTS, INC. 8 PENN CENTER, SUITE 1900 8 FEINI CEITIER SUITE 1300
PHILADELP IA, PA 19103
IEL 215 751 9008
FAX 2 9 751 9118
www.daterbyfeit.com PROJECT NUMBER

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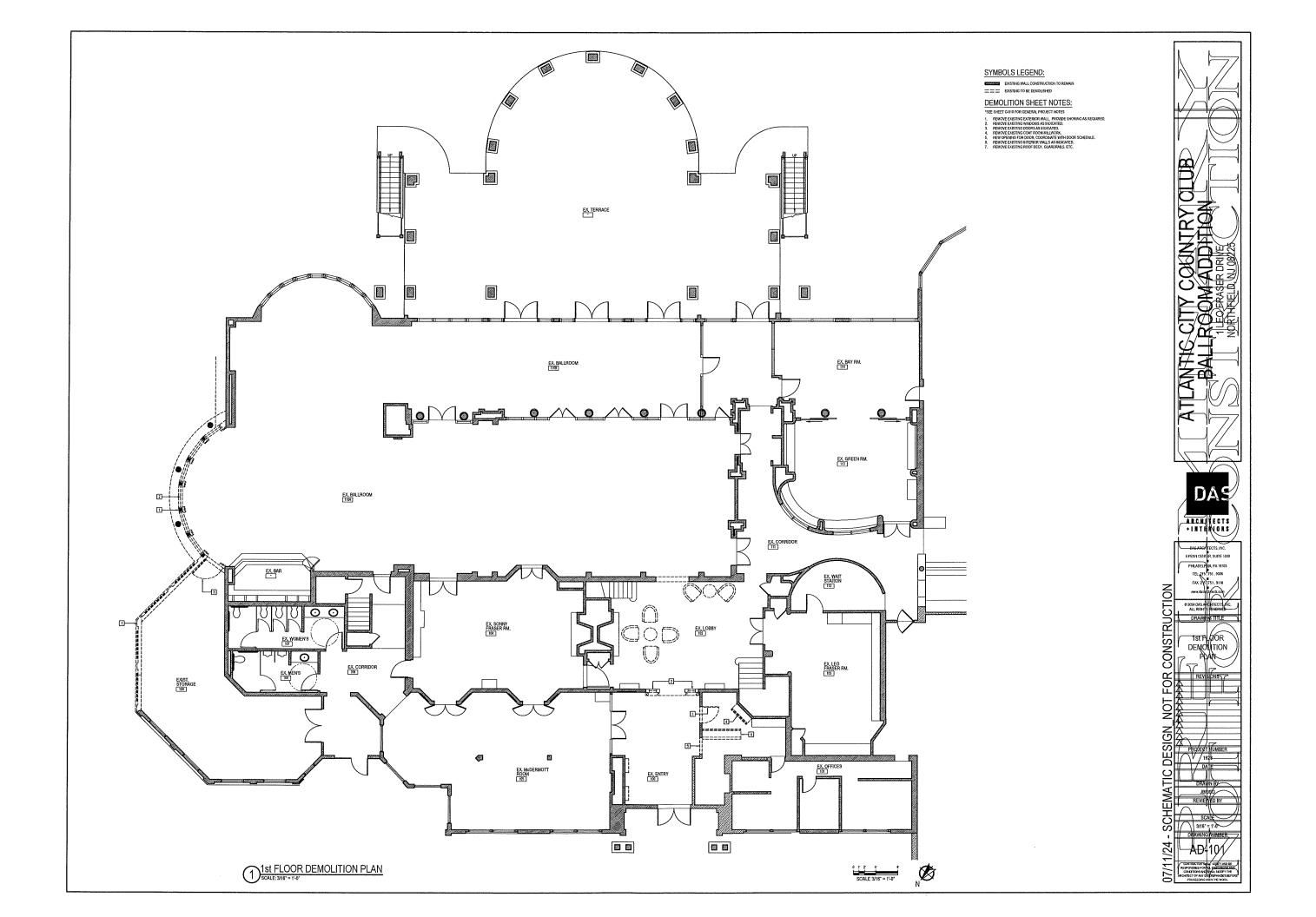
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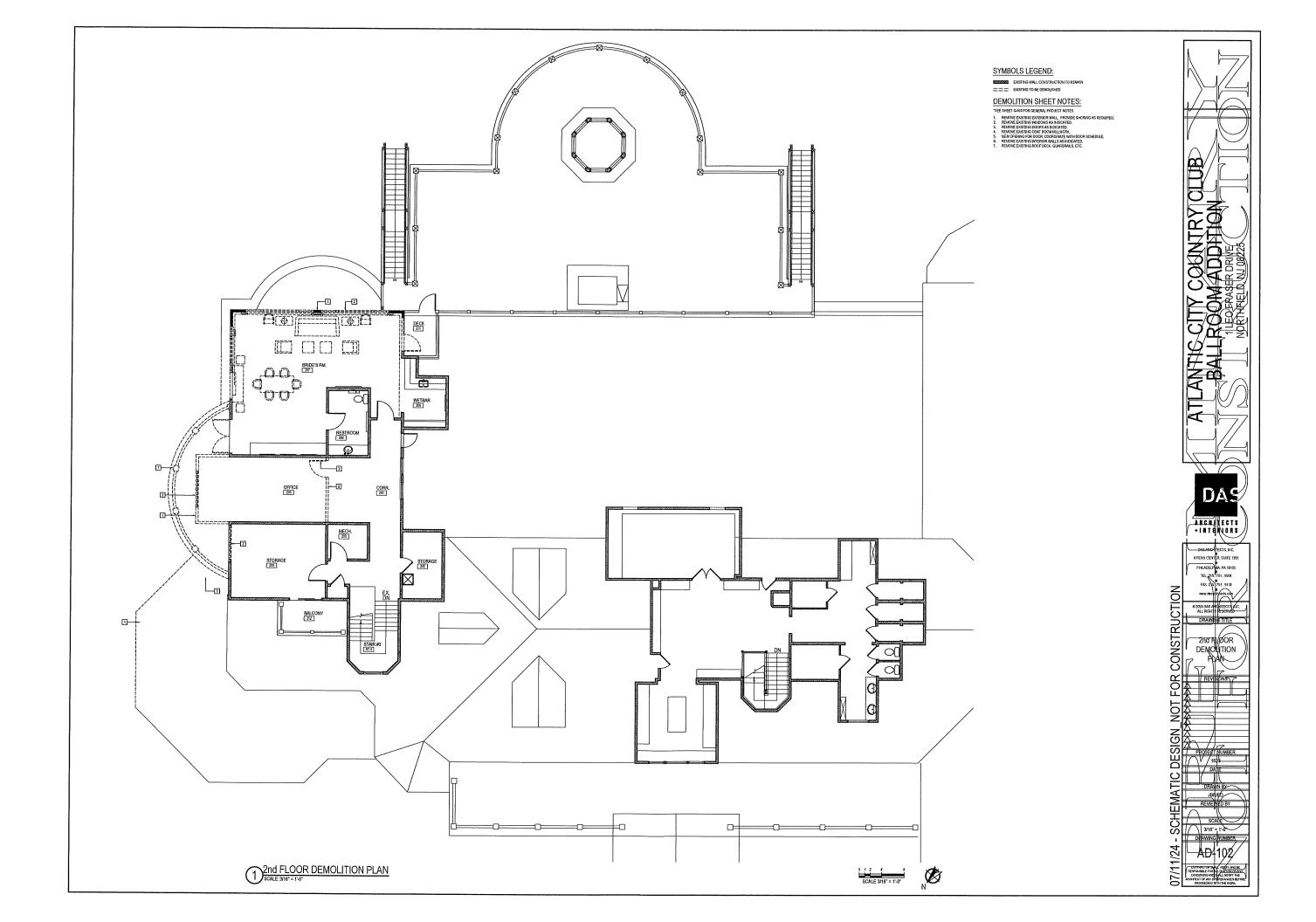
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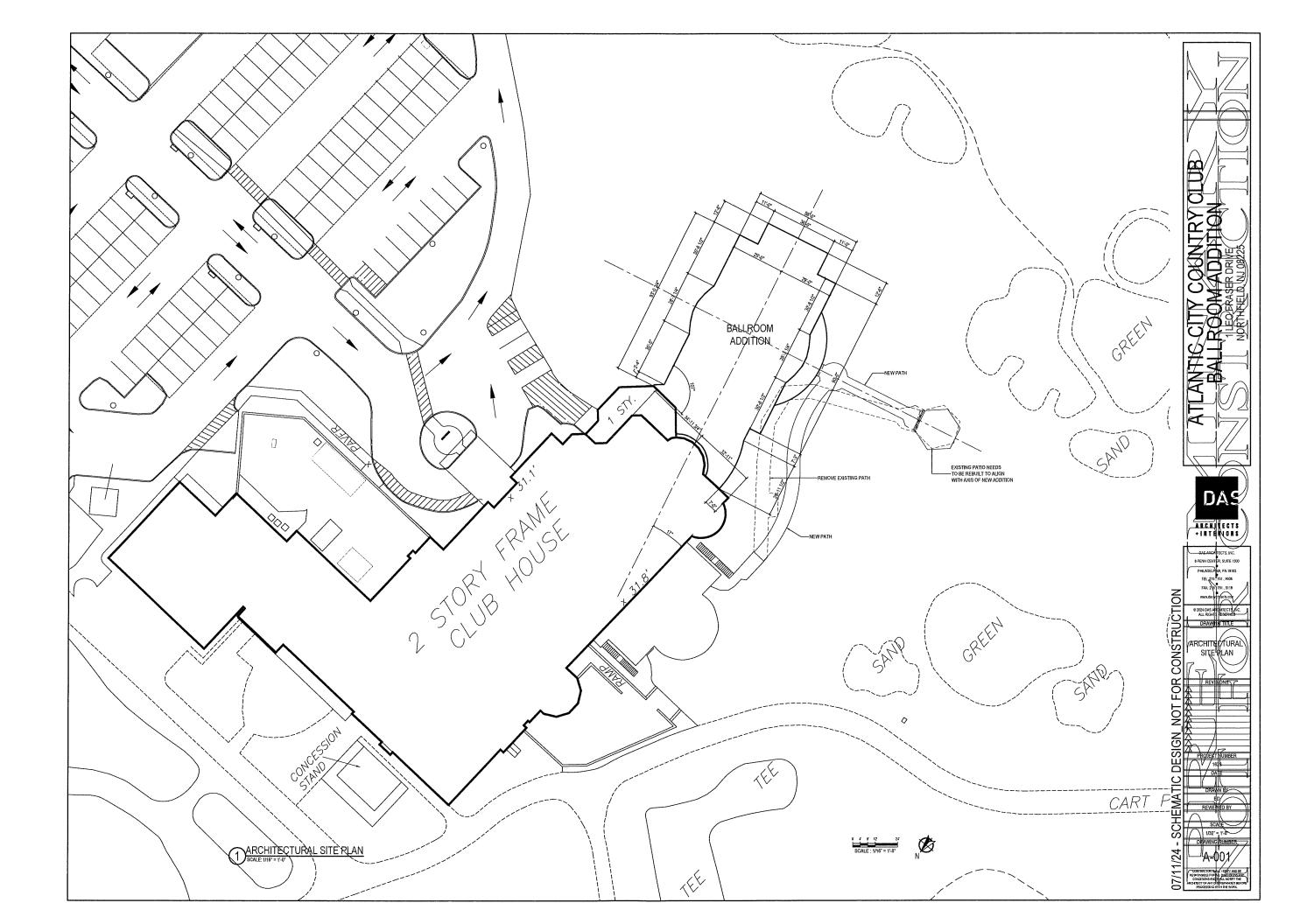
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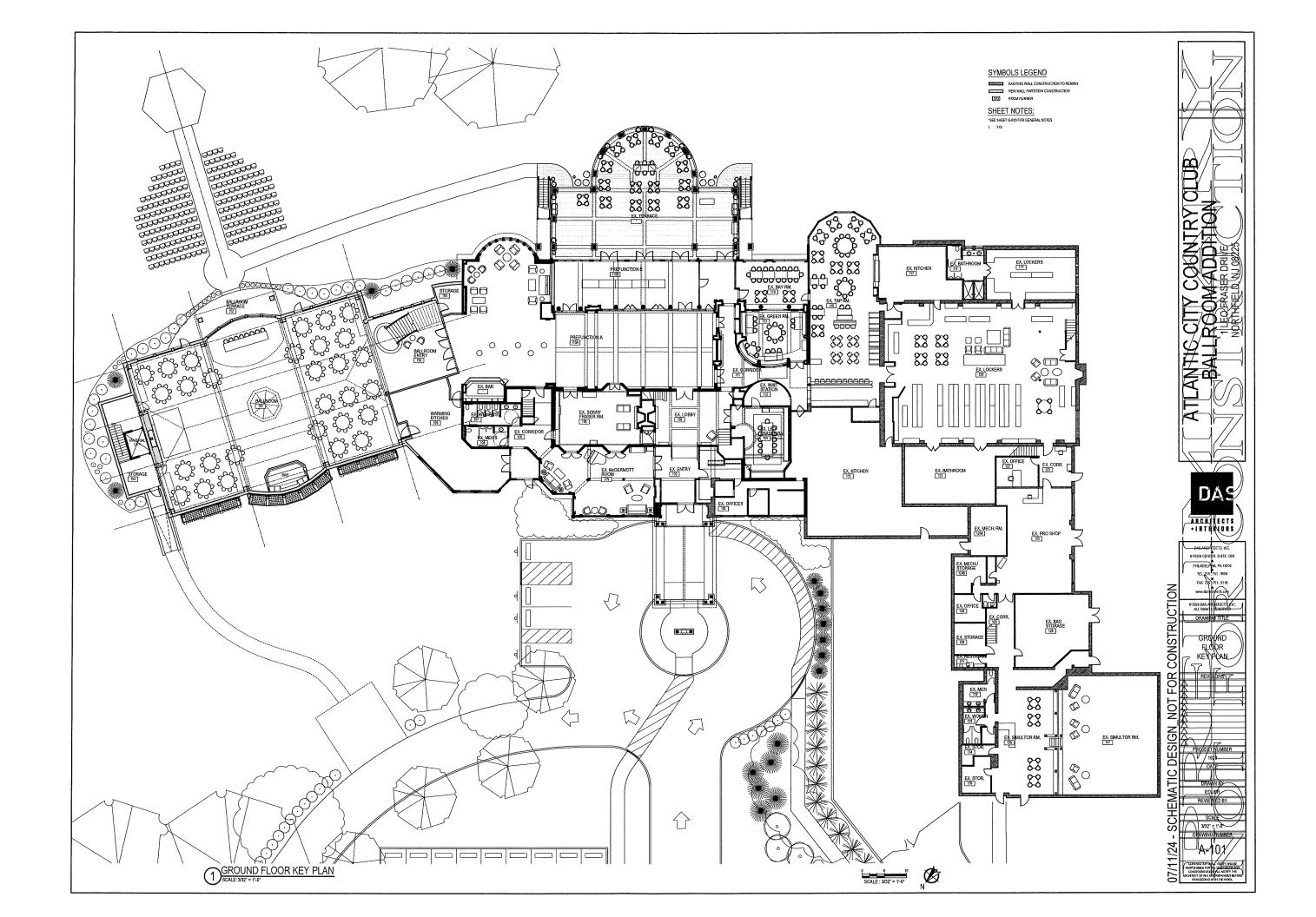
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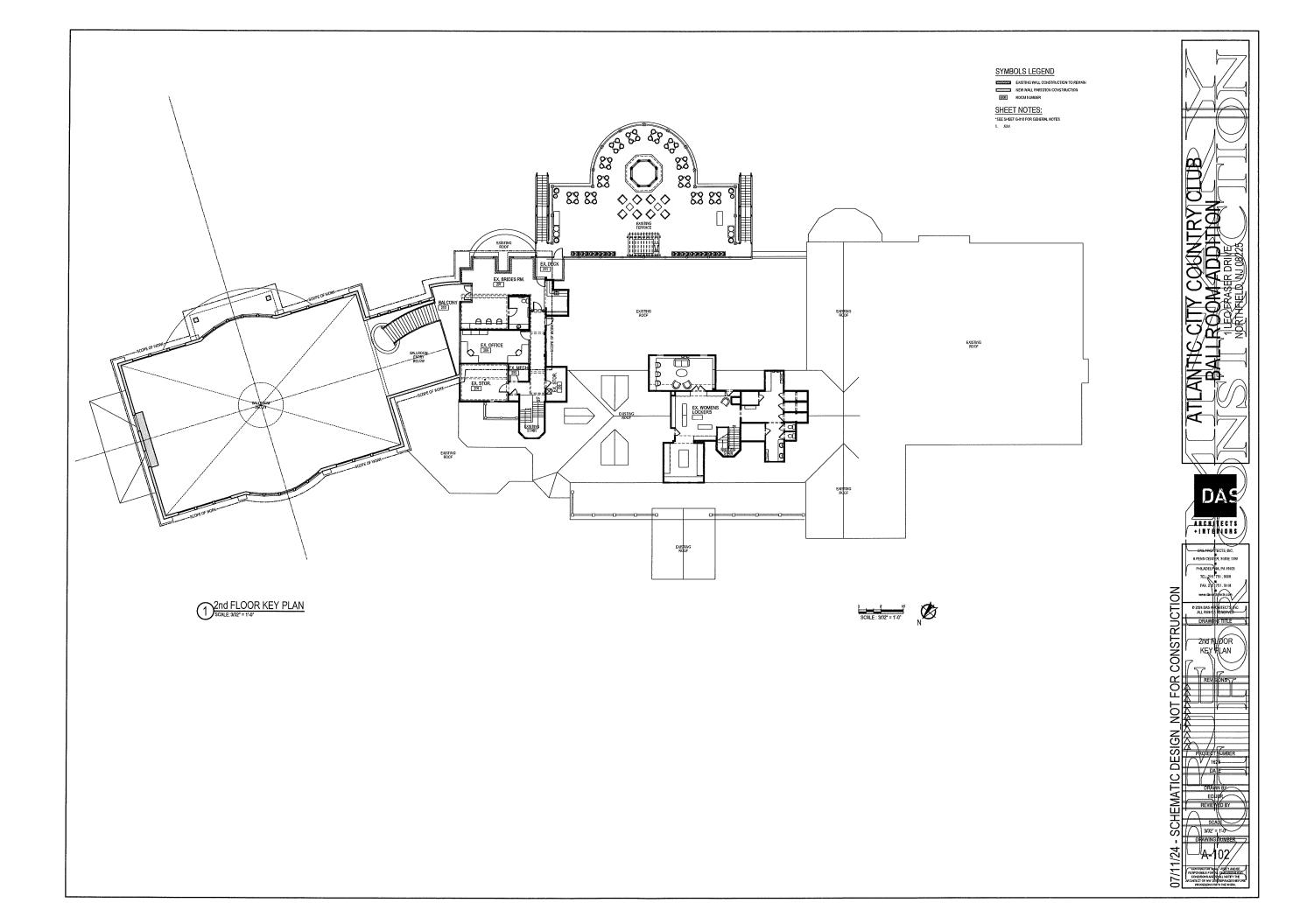
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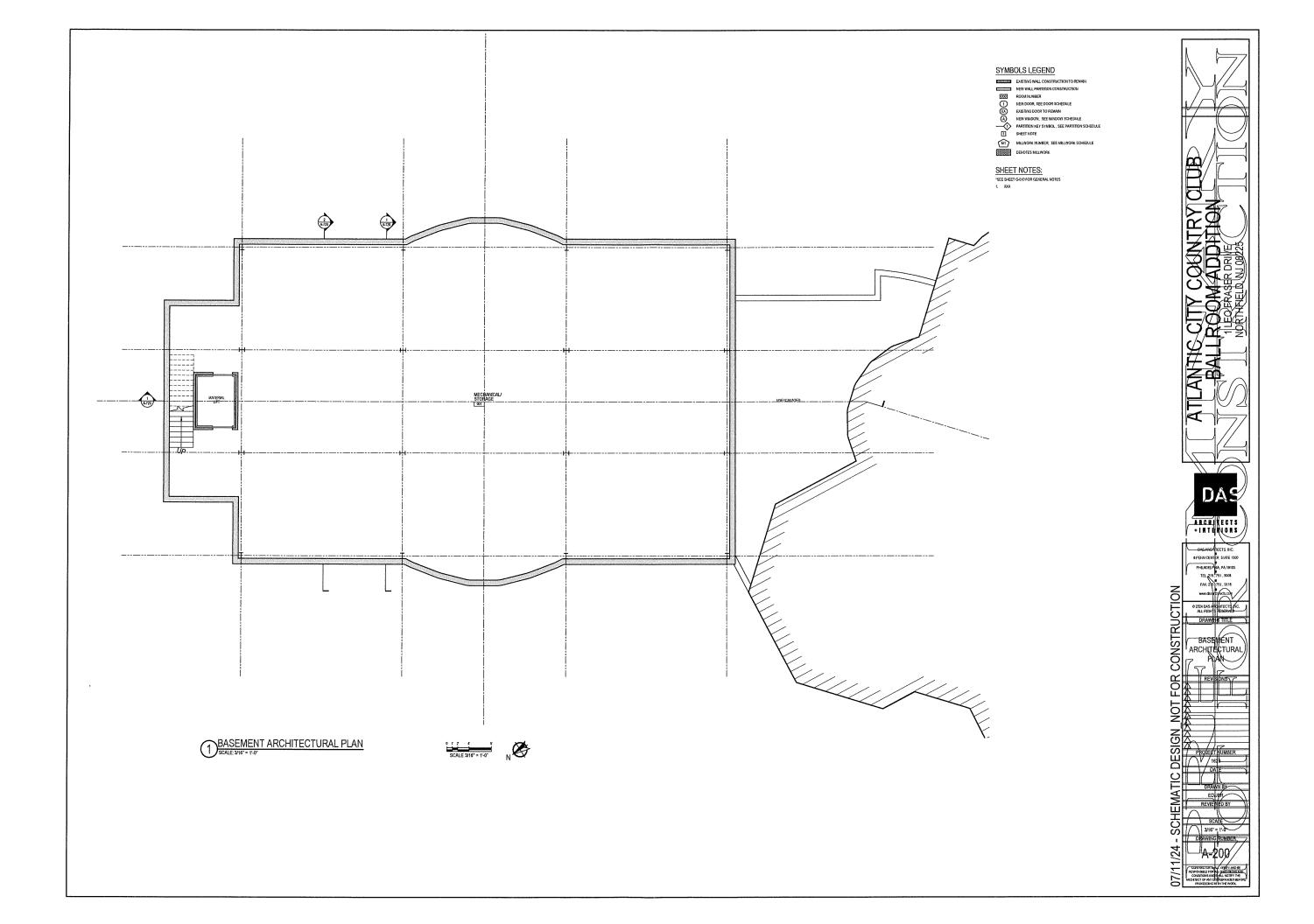


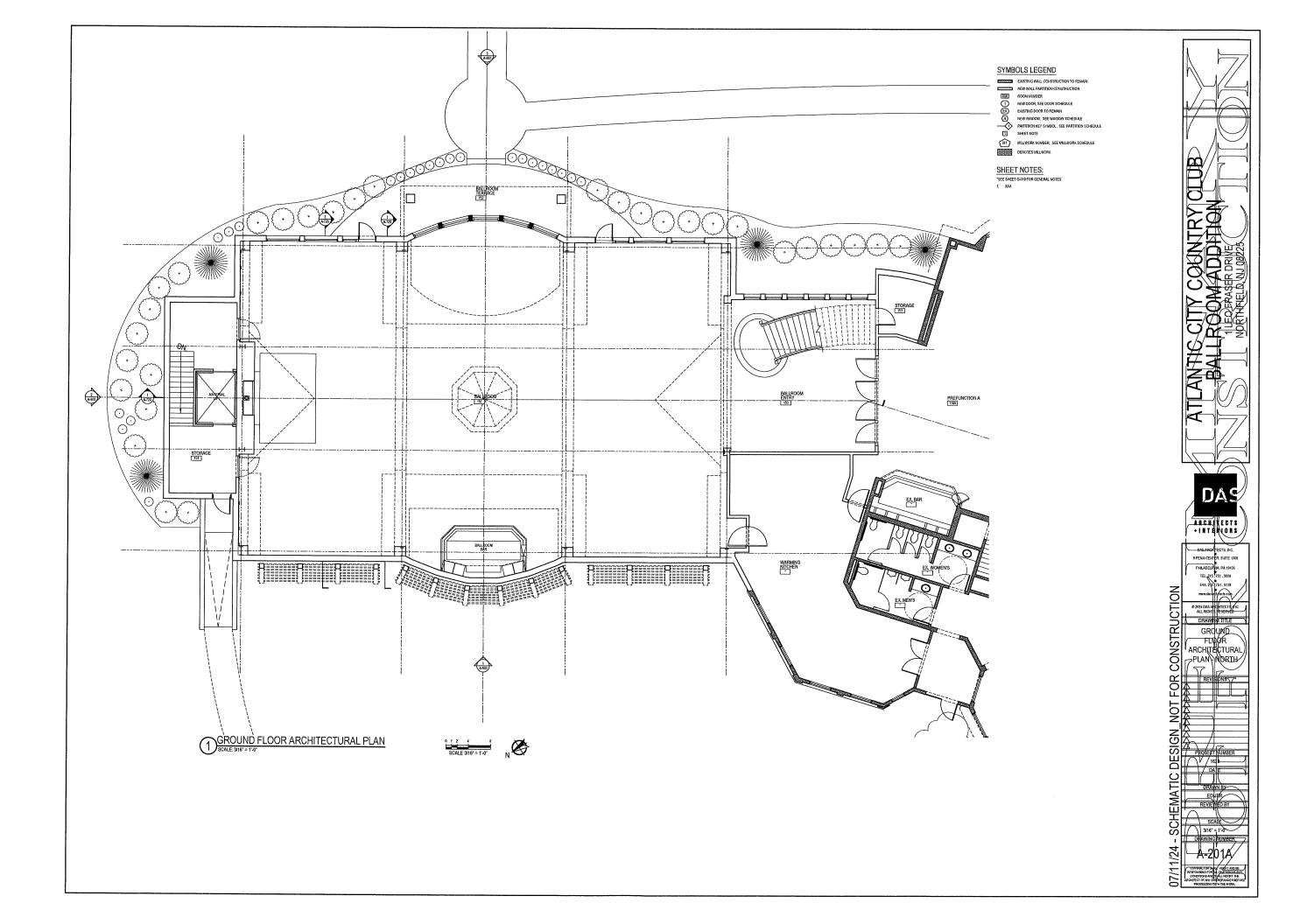


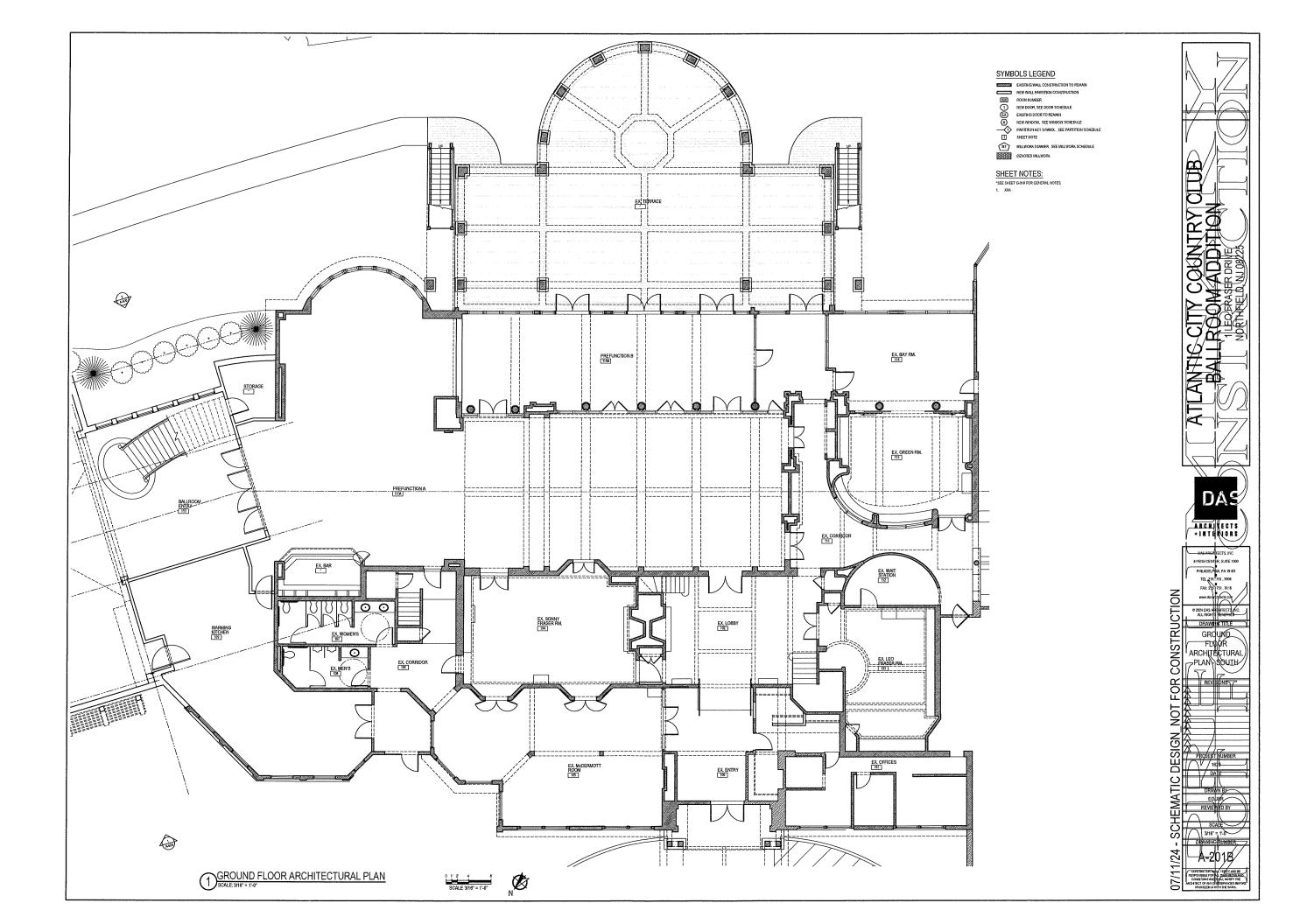


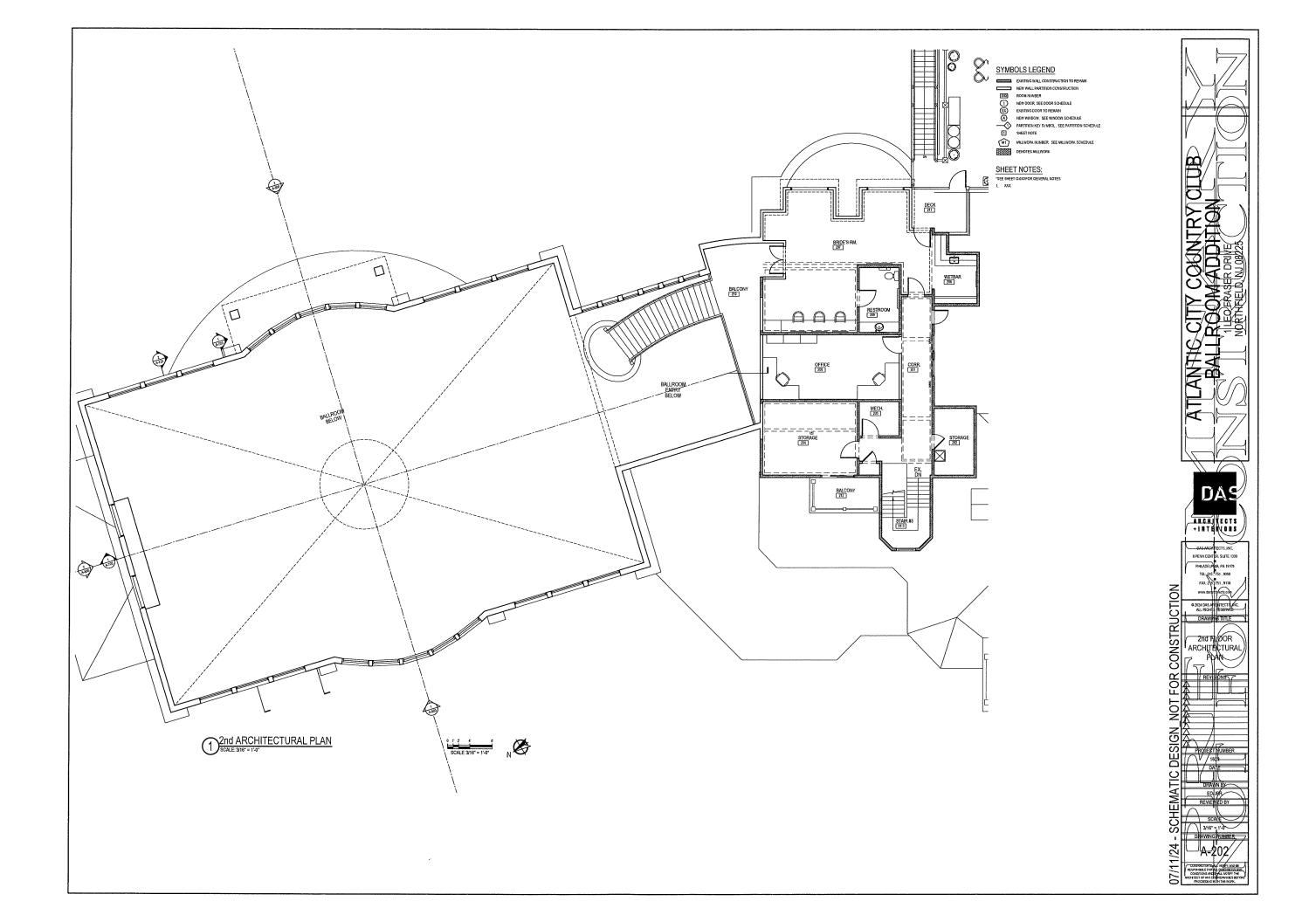


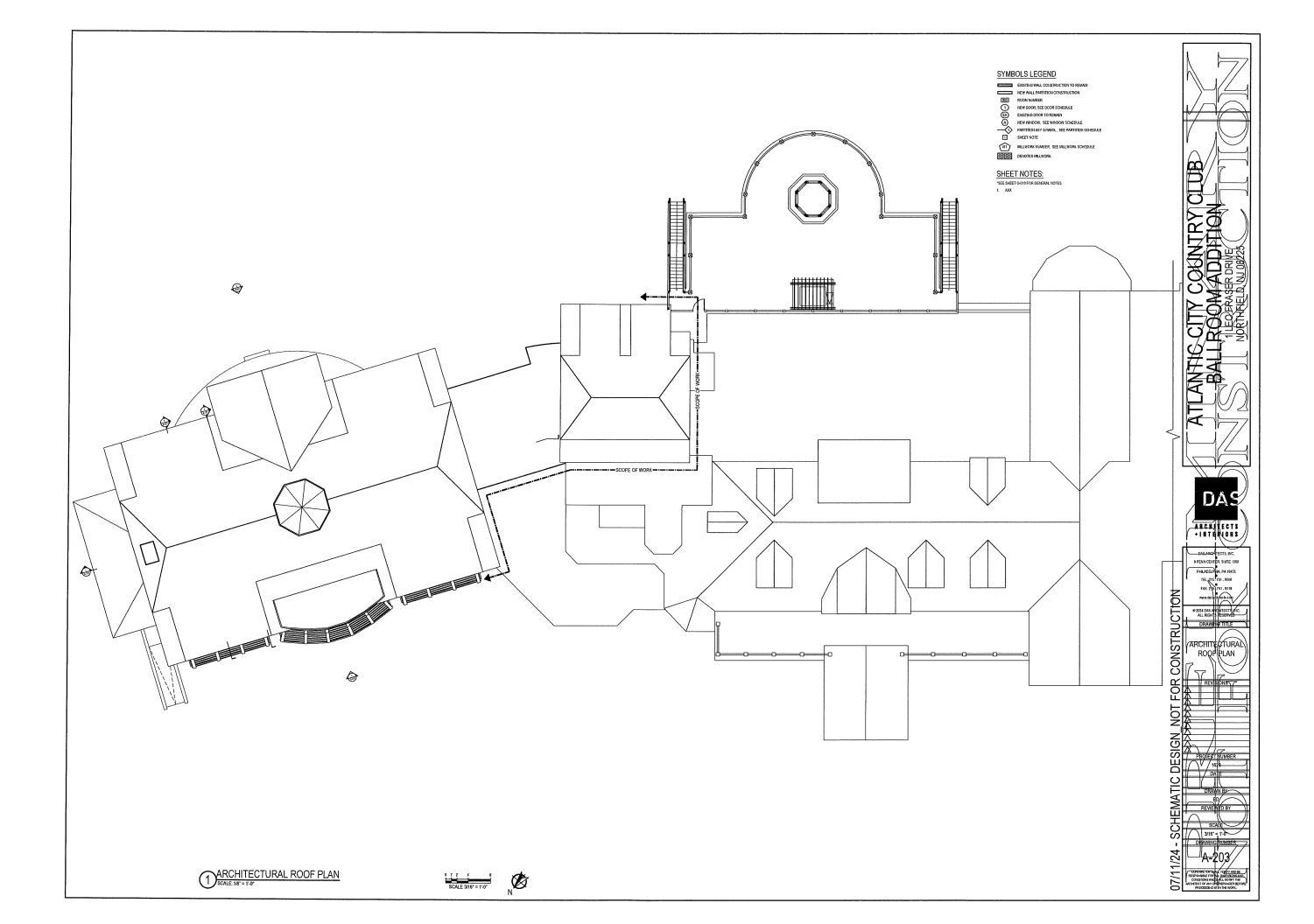


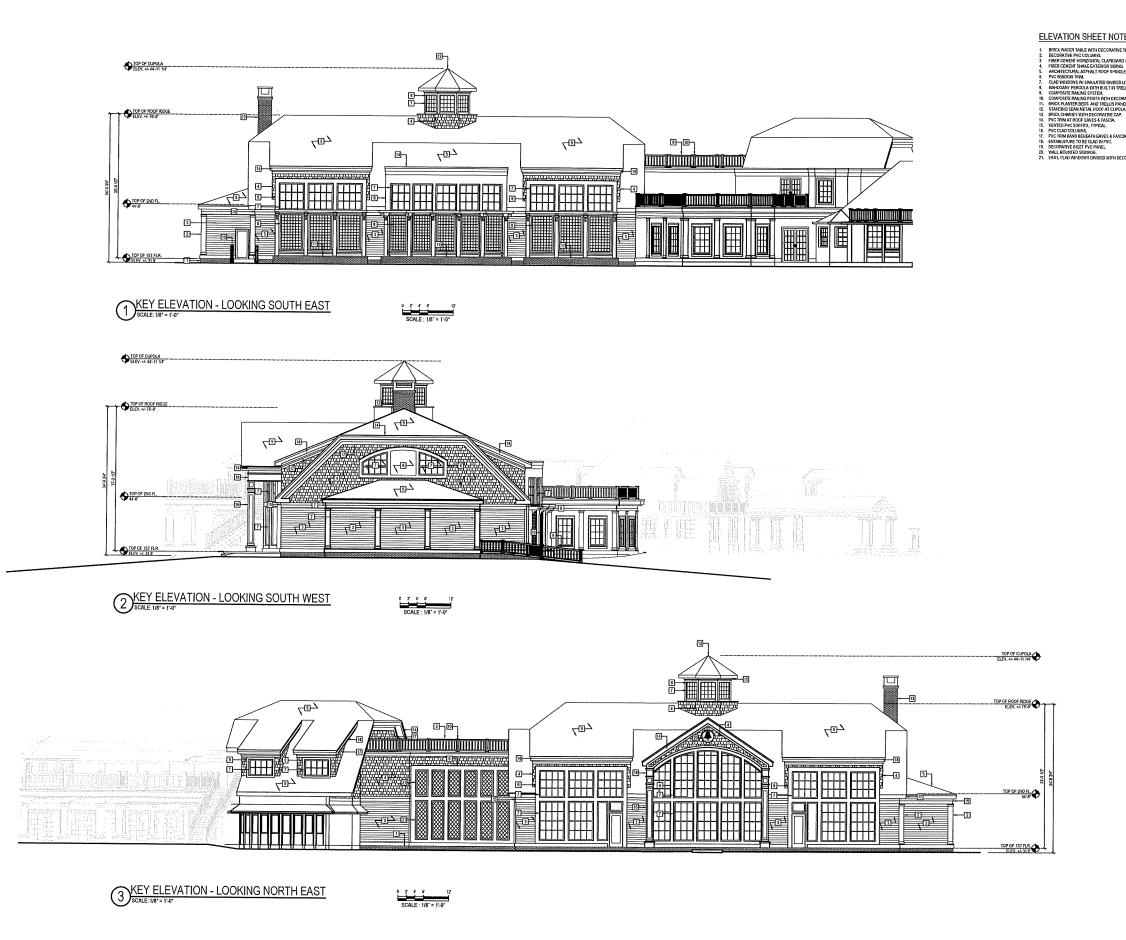












**ELEVATION SHEET NOTES:** 

BRICK WATER TABLE WITH DECCRATIVE TRIM BAND

ATLANTIC CITY COUNTRY OLUB BALL ROOM ADDISTION 1 LEO PRASER DRIVE NORTH RELA NA 08225 7/ DAS ARCHITECTS -INTENIONS

BAS ARCH TECTS, INC. 8 FEMIL CENTER, SUITE 1300 8 FERRI CERT ER, SUITE 1300

PHARADELPIA PA 19103

TEL 215 731, 9008

FAX 220 731, 9118

mm. distribution to the community of CONSTRUCTION

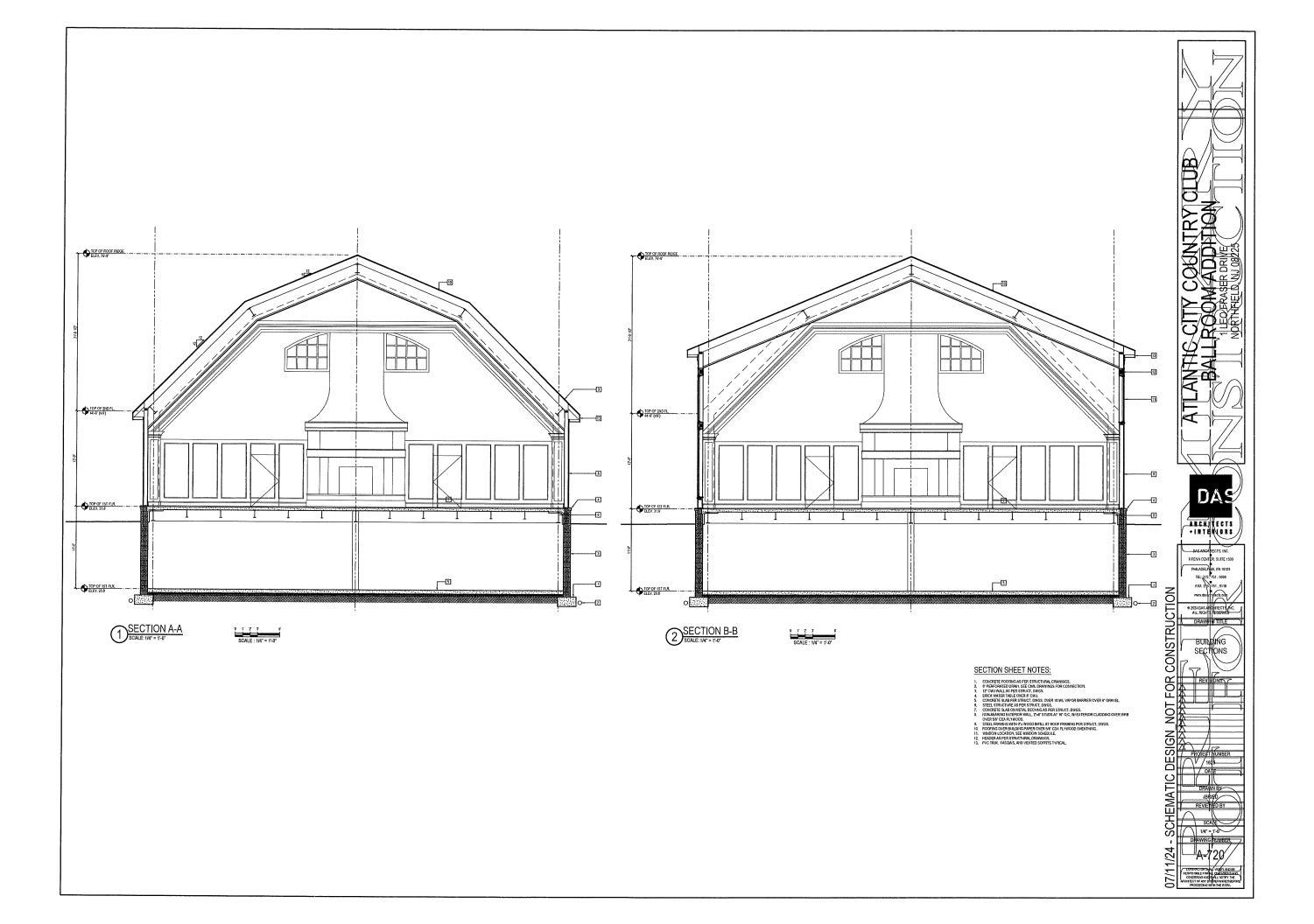
EXTERIOR ELEVATIONS

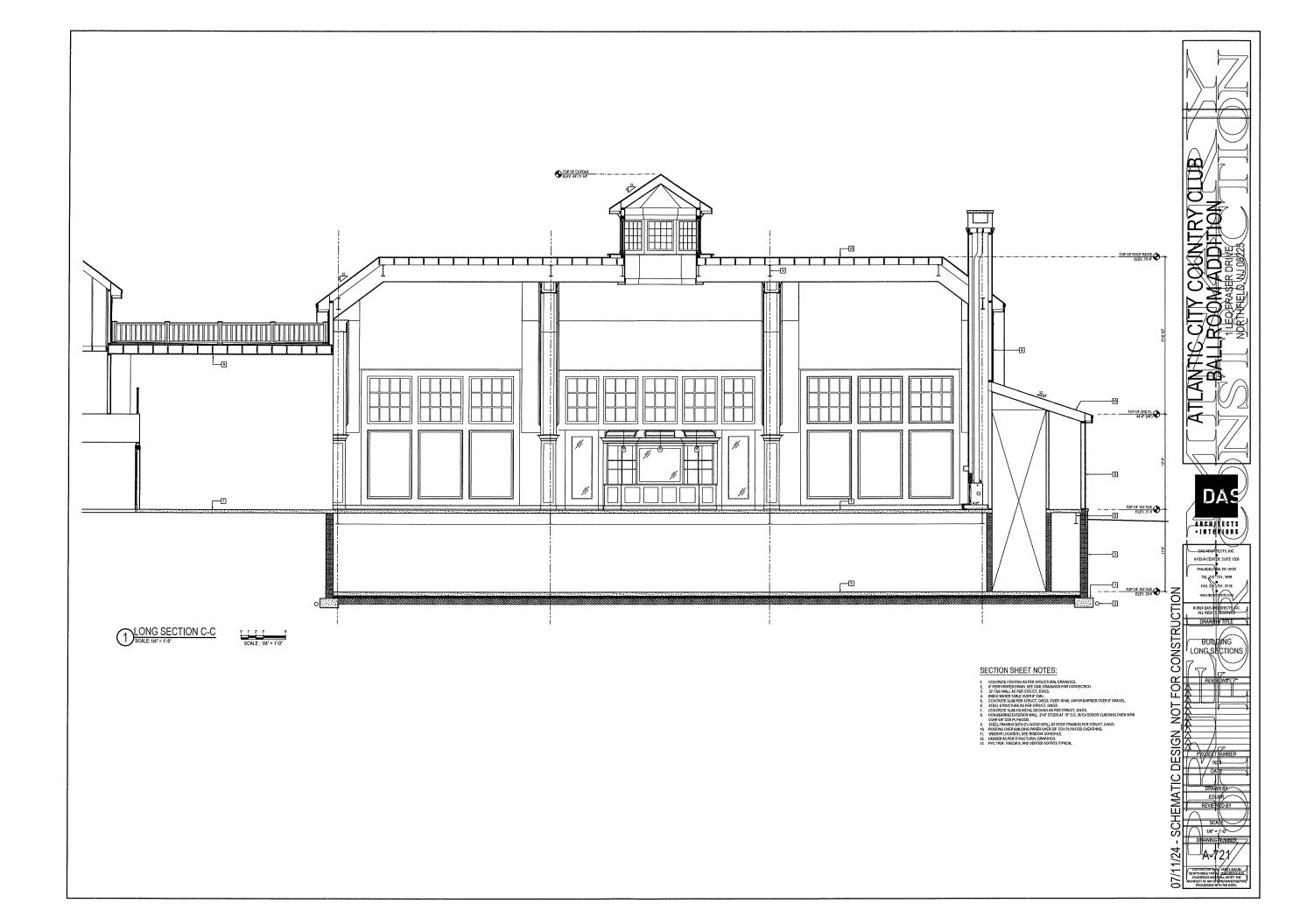
EXTERIOR

EXTERIOR

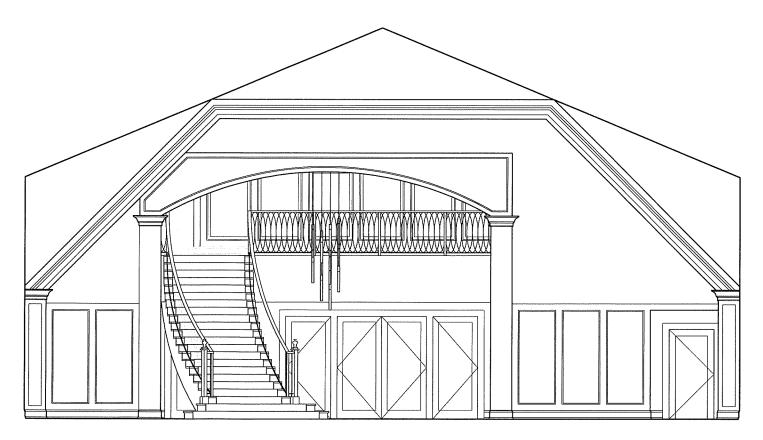
PROJECT MUMBER

PROJECT MUMBER A-600

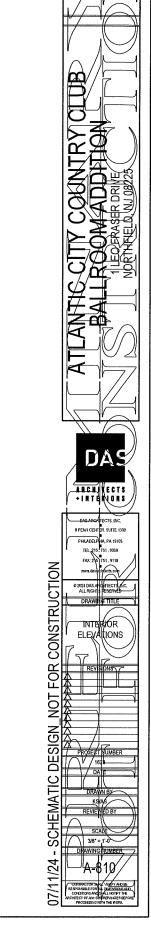








2 BALLROOM STAIR ELEVATION
SCALE: 38° = 1'-0'







# ATLANTIC CITY COUNTRY CLUB

SCHEMATIC DESIGN 07/11/2024



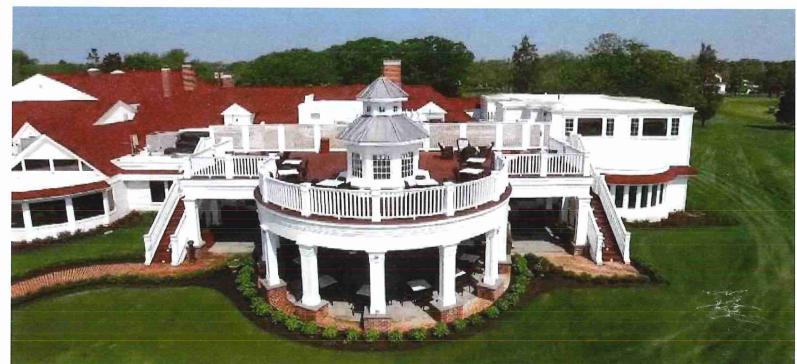


## SITE MAP

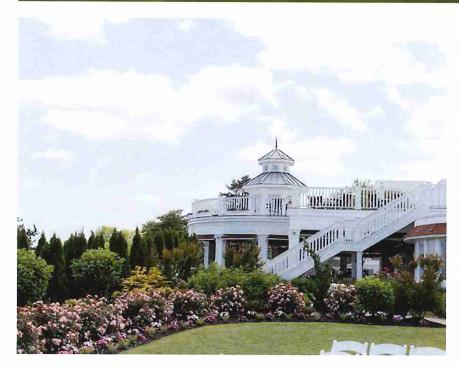




#### ATLANTIC CITY COUNTRY CLUB





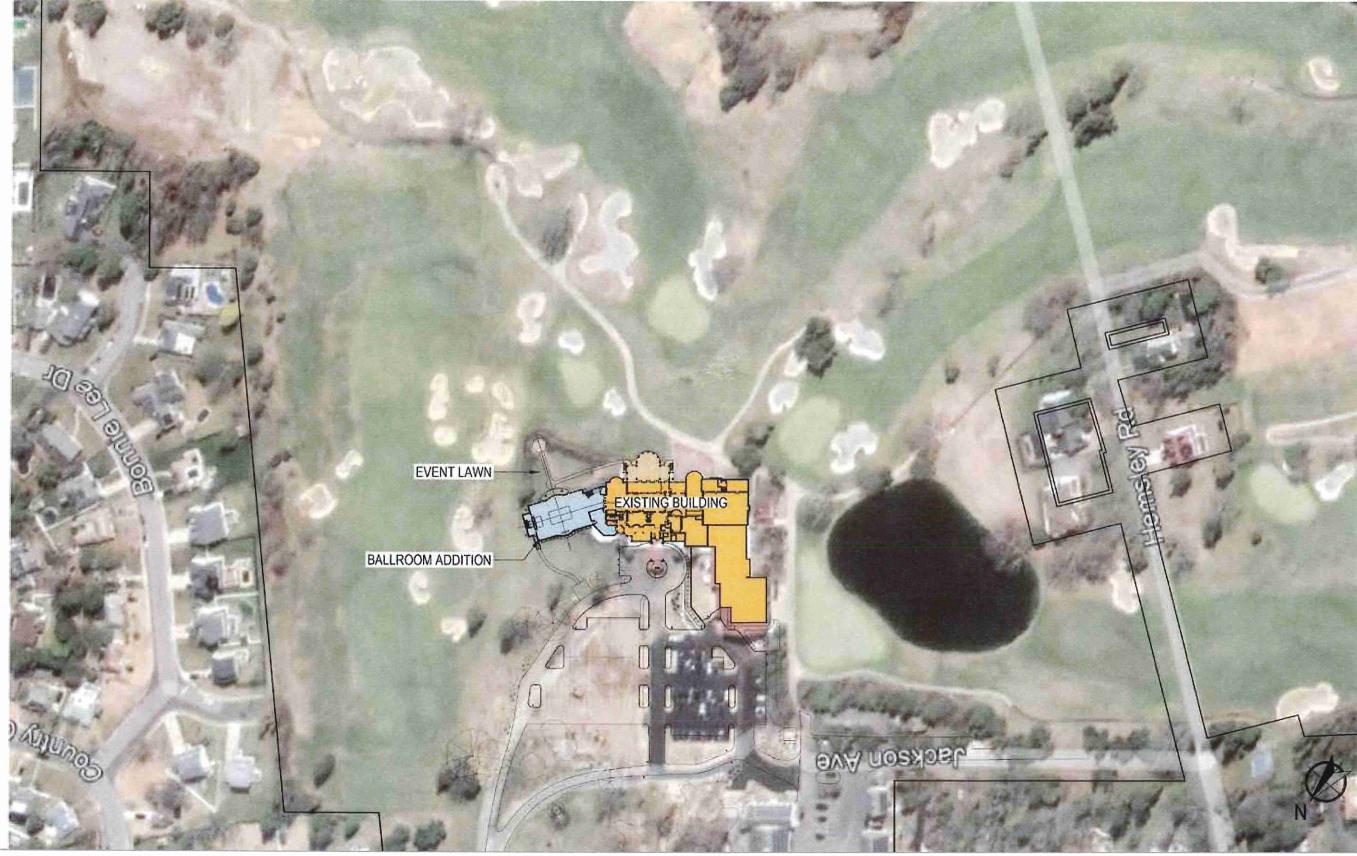








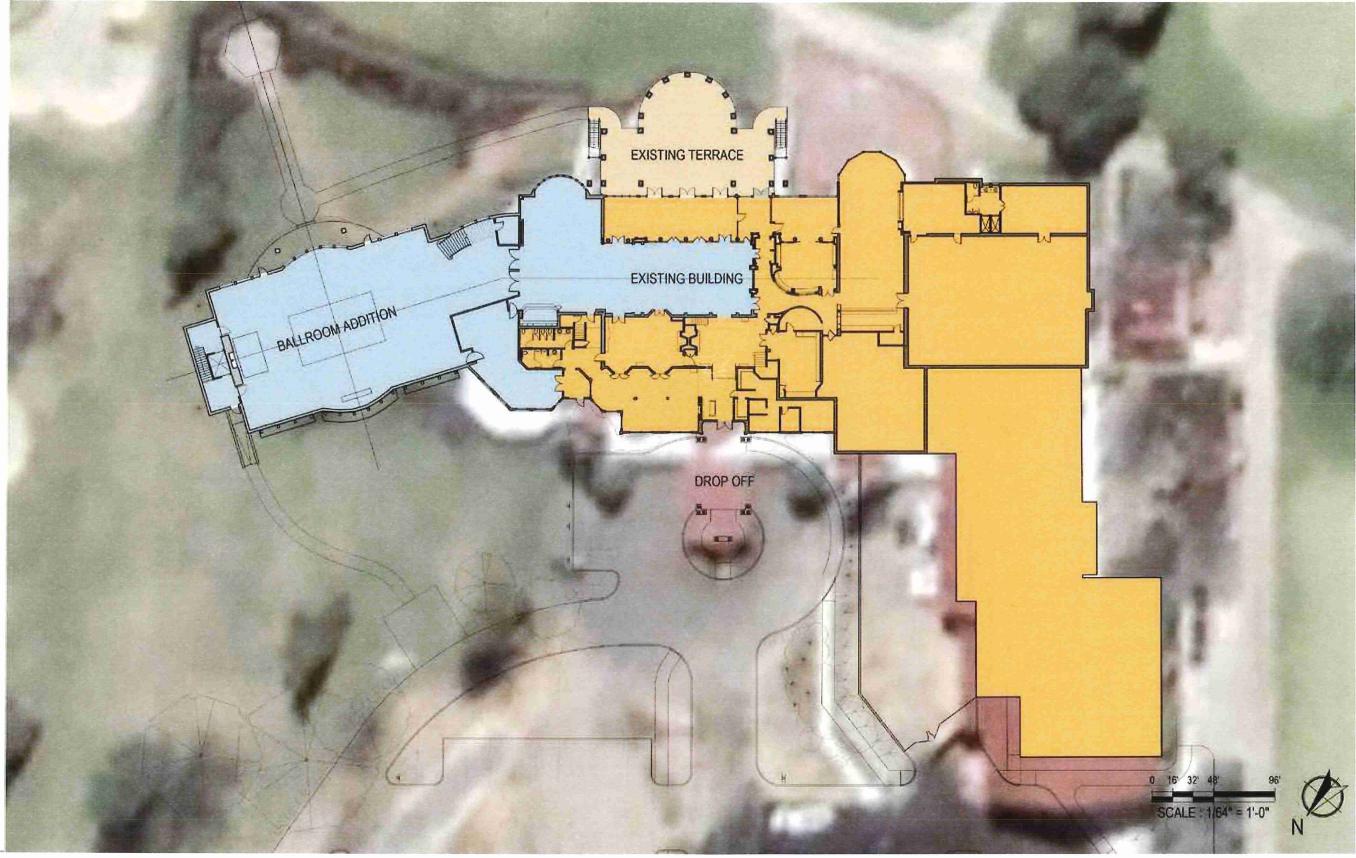
#### SITE CONTEXT:



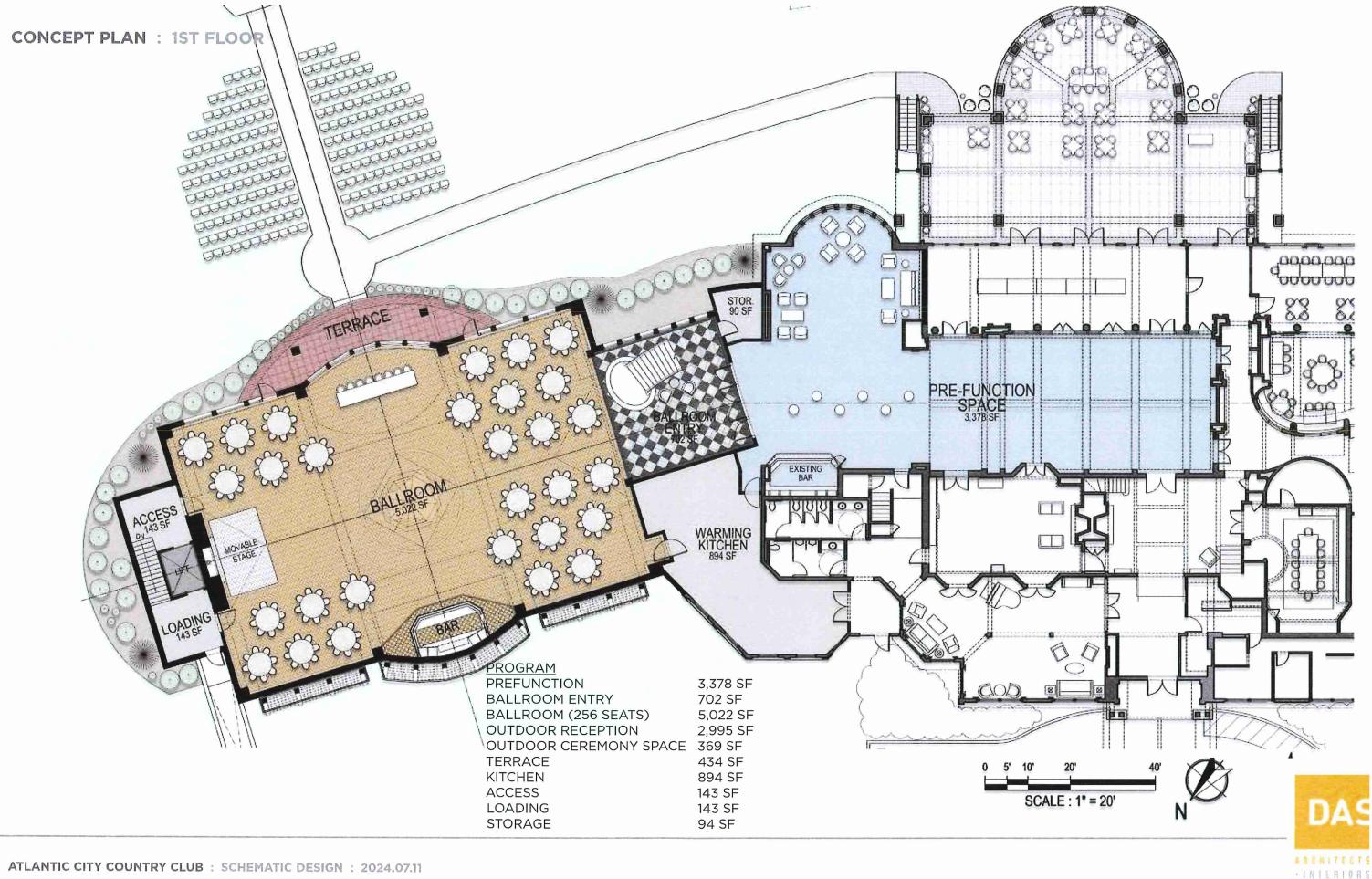


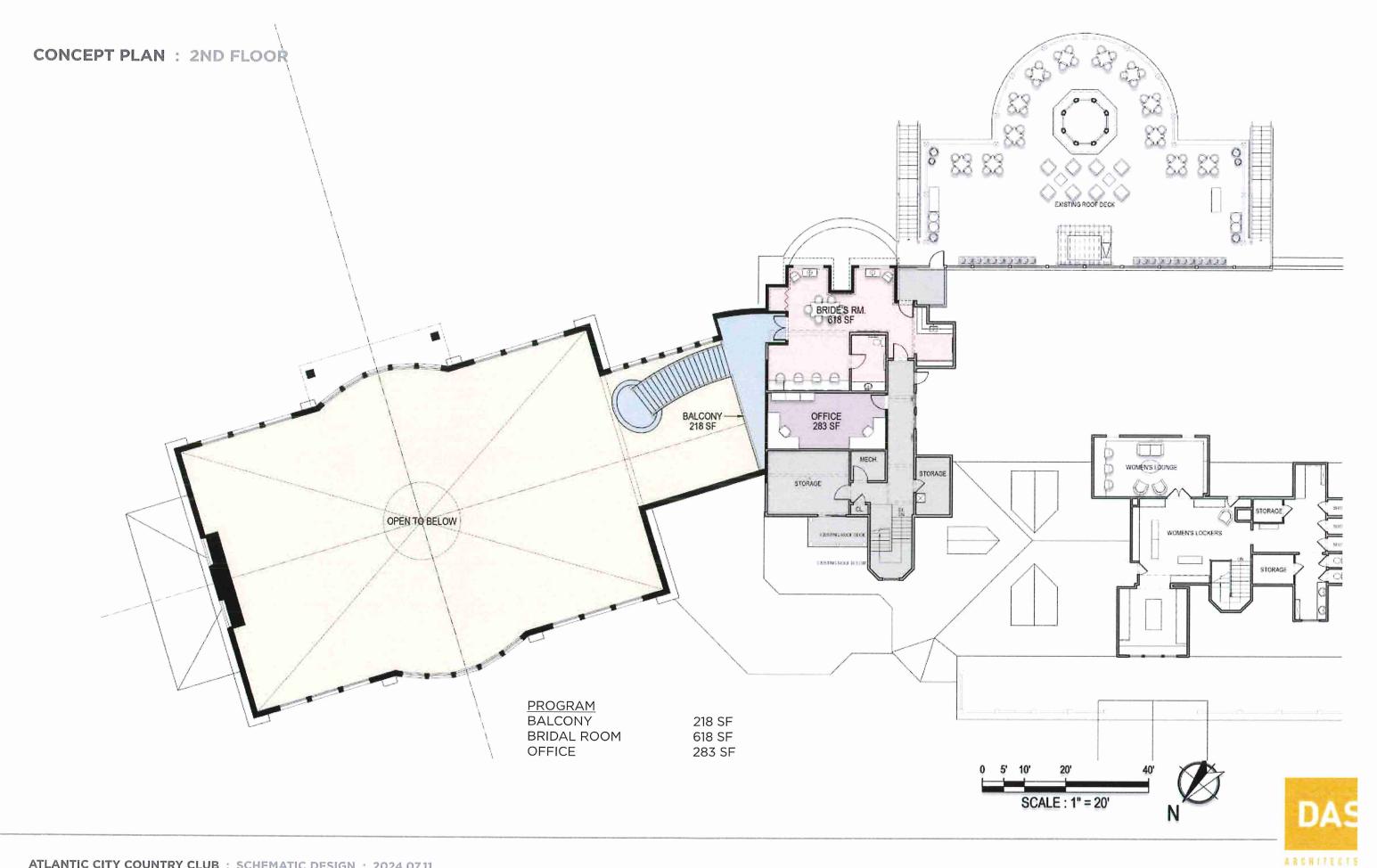
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## SITE PLAN:



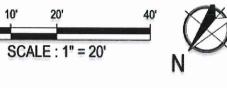






+INTERIORS







#### CONCEPTS : EXTERIOR

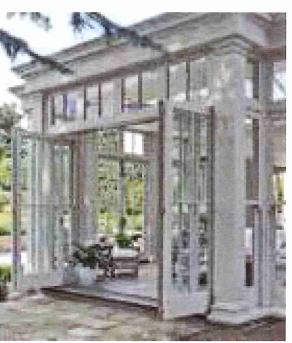






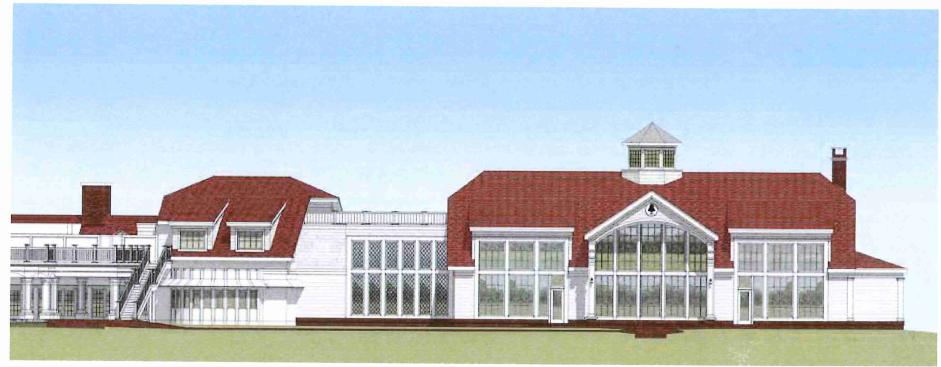








#### **CONCEPTS**: EXTERIOR ELEVATIONS



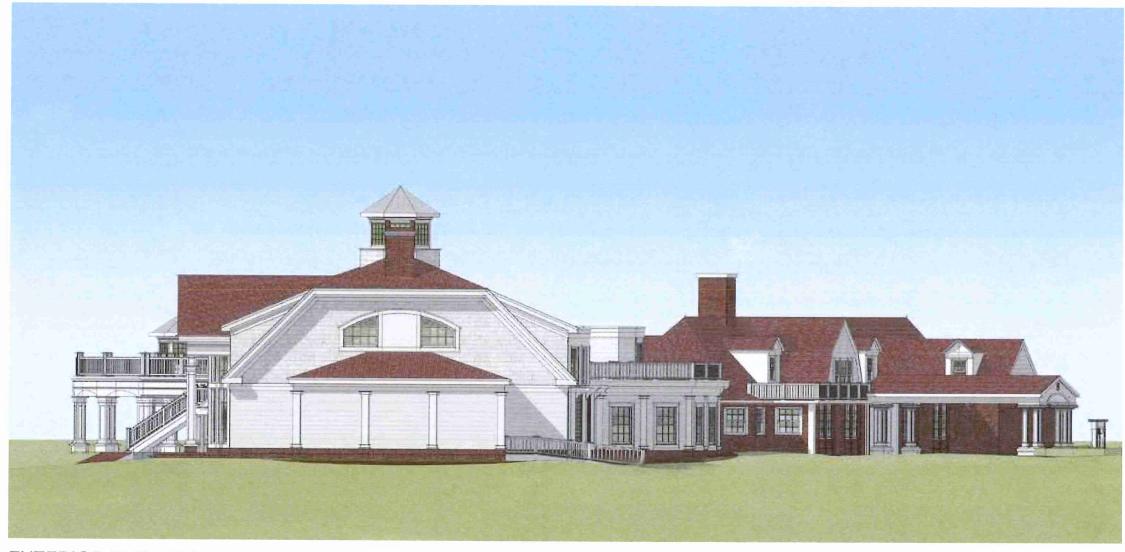
EXTERIOR ELEVATION - REAR



**EXTERIOR ELEVATION - FRONT** 



#### **CONCEPTS: EXTERIOR ELEVATIONS**



EXTERIOR ELEVATION - SIDE



#### **CONCEPTS: EXTERIOR RENDERING**





#### **CONCEPTS: EXTERIOR RENDERING**





### **CONCEPTS**: EXTERIOR RENDERING



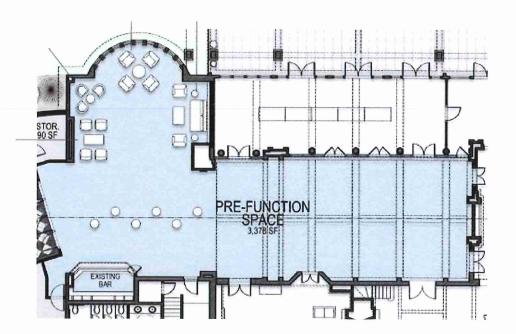


### **INTERIOR CONCEPTS: PREFUNCTION SPACE**









LOUNGE SEATING



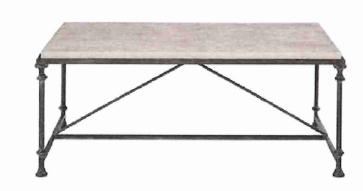












#### **INTERIOR CONCEPTS: BALLROOM ENTRY**



CHANDELIER AT ENTRY HALL

STAIR RUNNER WITH

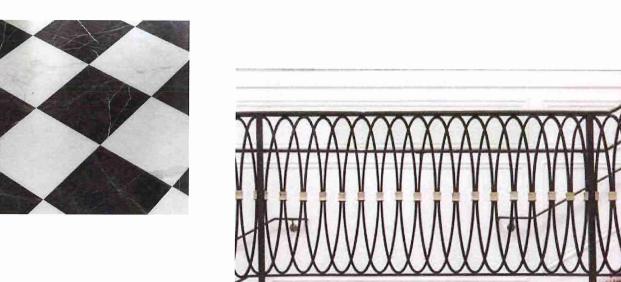
DECORATIVE RODS



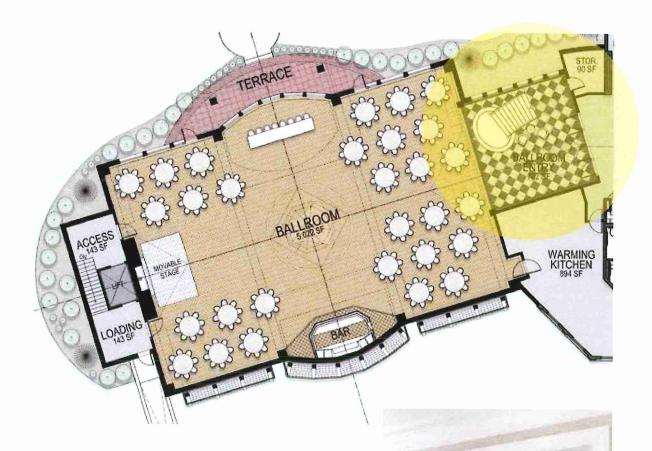




BALLROOM ENTRY FLOORING



RAILING STYLE





WOOD ENTRY DOORS

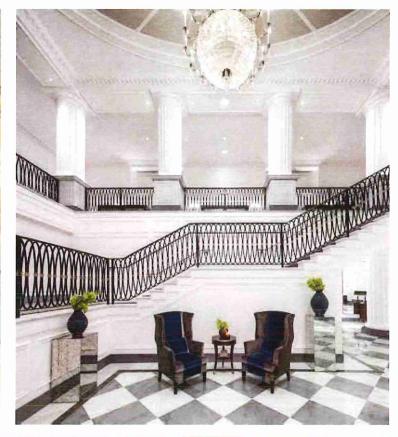


ATLANTIC CITY COUNTRY CLUB: SCHEMATIC DESIGN: 2024.07.11

#### INTERIOR CONCEPTS: BALLROOM ADDITION



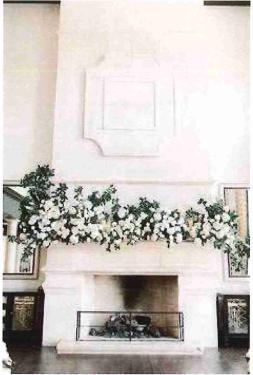






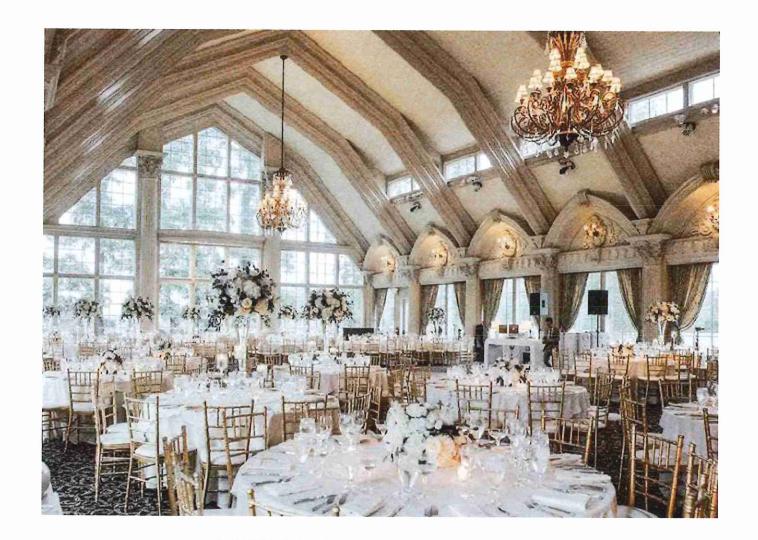




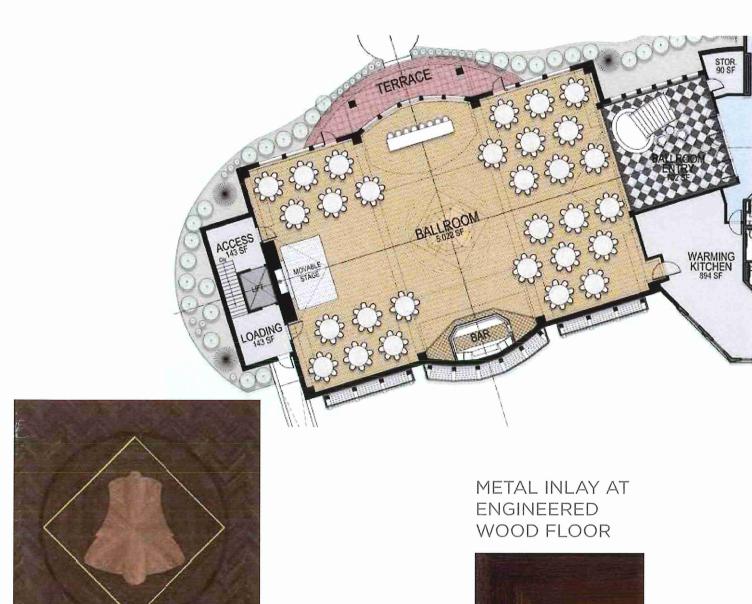




#### INTERIOR CONCEPTS: BALLROOM











HERRINGBONE ENGINEERED WOOD FLOOR

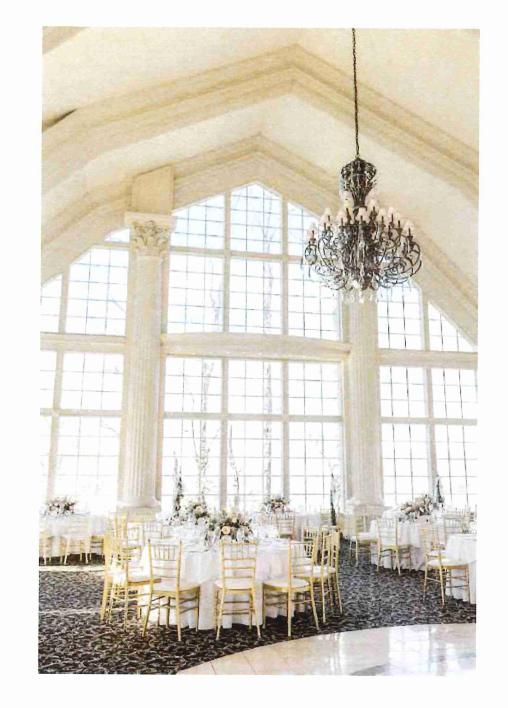


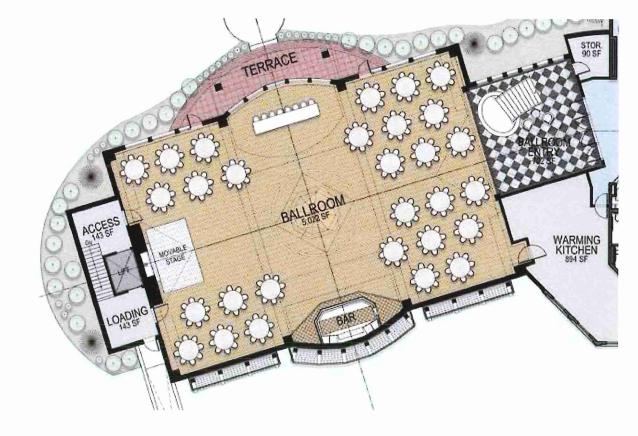
# INTERIOR CONCEPTS: REFLECTED CEILING PLAN



ARCHITEGTS -INTERIORS

## INTERIOR CONCEPTS: BALLROOM FURNITURE









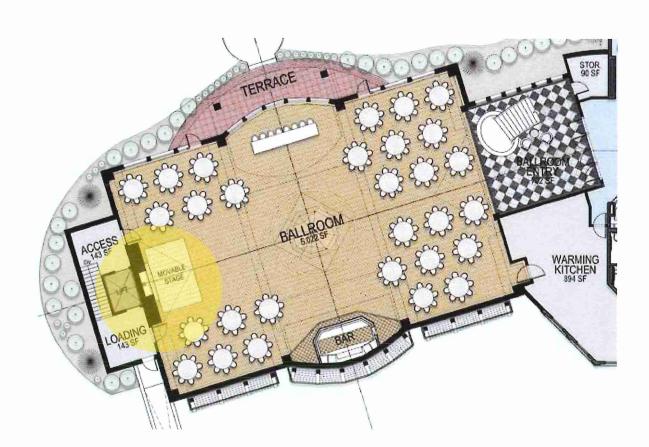


BALLROOM CHAIR STYLE OPTIONS

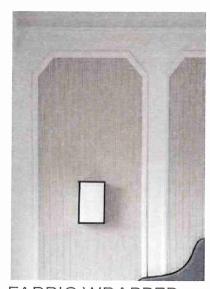


### INTERIOR CONCEPTS: FIREPLACE









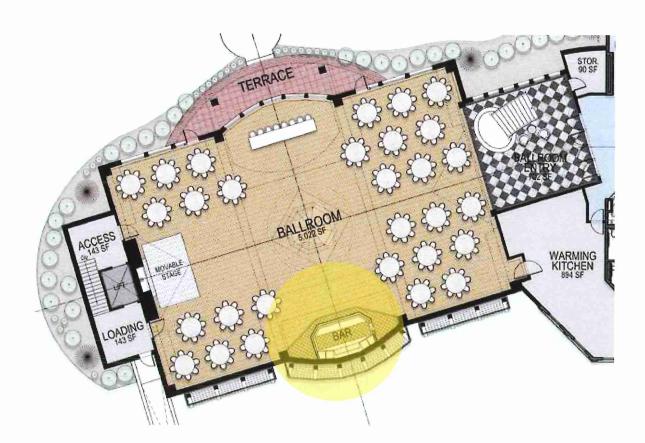
FABRIC WRAPPED WALL PANELS





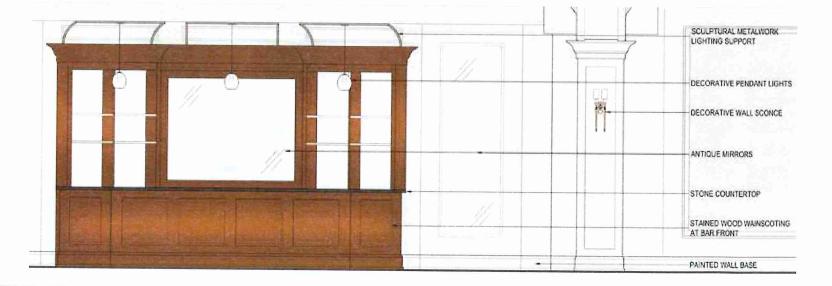
#### **INTERIOR CONCEPTS:** FEATURE BAR















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www.dasarchitects.com

#### DISCLOSURE STATEMENT

Name of Business: ACCC Properties, L	-L-C
Principal Place of Business: 1 Leo Fraser	Drive Northfield, NJ 08225
O PARTNERSHIP O CORPORATION	O SOLE PROPRIETORSHIP
I CERTIFY that the list below contains the names and hof the issued and outstanding stock of the undersigned. I partnership, I have annexed the names and addresses of a council of the council of the issued and outstanding stock of the undersigned. I	f one or more of the below is itself a corporation or anyone owning a 10% or greater interest therein.
I CERTIFY that no one stockholder owns 10% or more	
PLEASE CHECK APPROPRIATE BOXES ABO	OVE AND SIGN BELOW
STOCKHOLDERS:	
The Chester J. offinger, 2017  Irrevocable Gran for Trust  202 Recues	DRESS CITY/STATE
Irrevocable Gran for Trust 202 Recues	Road Bridgeton, NJ 08302
I FURTHER CERTIFY that no officer or employed direct or indirect in this corporation or partnership or the I CERTIFY that the foregoing statements made by foregoing statements made by me are willfully false, I a	me are true. I am aware that if any of the
STATE OF New Jersey	
COUNTY OF Cumberland ) SS:	
COUNTY OF SUITOCIANA	.0
Sworn and subscribed to	
Before me this <u>8</u> day	Signature
of <u>August</u> 20 <u>24</u>	Anthony P. Suppa
Myllis M. Capano Notar Public	Name of Person Signing (type or print)
My Commission Expires:	Trustee
Revised: 3/5/2012 PHYLLIS M CAPANO NOTARY PUBLIC STATE OF NEW JERSEY	Title of Person Signing
MY COMMISSION EXPIRES OCTOBER 18, 202	6

#### **CERTIFICATION OF OWNER**

PHYLLIS M CAPANO NOTARY PUBLIC STATE OF NEW JERSEY MY COMMISSION EXPIRES OCTOBER 18, 2026

This is to certify that the plans and/or survey plans with the measurements shown have been 173 13 179.01 1.01, 16, 17 & 18
drawn by me as the owner of the property regarding BLOCK
Commonly known as1 Leo Fraser Drive, Northfield, NJ 08225 (Atlantic City Country Club) (address)
Have been drawn as accurately as possible to the best of my knowledge.
Owner's Name Anthony P. Suppa, Trustee Authorized Signatory of ACCC Properties, LLC
Address_ 1 Leo Fraser Drive
City_Northfield, NJ 08225  Notary
Date
Sworn to and subscribed before me and this 8 day of Aug. 18 2024
Hyring M. Capano



# City of Northfield

TAX ASSESSOR'S OFFICE

1600 SHORE ROAD, NORTHFIELD, NEW JERSEY 08225

July 26, 2024

Nehmad, Davis & Goldstein 4030 Ocean Heights Avenue Egg Harbor Township, NJ 08234

Block 175 Lot(s) 48 900 Shore Road Northfield, NJ 08225

Dear Mr. Goldstein,

The following is a list of properties located within 200 feet of the above-mentioned intersection, as it appears on the Northfield Tax map. It is specifically understood that all applications for variances must comply with all existing statutes including the necessary notices to public bodies when applicant and law deems applicable.

Atlantic City Electric Real Estate & Right of Way Department 5100 Harding Highway, 63ML22 Mays Landing, NJ 08330

South Jersey Gas Co. Attn.: Ray Wenzel 3800 Atlantic Avenue Atlantic City, NJ 08401

#### Page 2

Verizon Engineering Department Attn.: Douglas Webb 10 Tansboro Road Berlin, NJ 08009

Comcast Cable 1 Comcast Center 32<sup>nd</sup> Floor Philadelphia, PA 19103

New Jersey American Water Company, Inc. 1 Water Street Camden, NJ 08102

Northfield Sewer Department 1600 Shore Road Northfield, NJ 08225

Municipal Road City of Northfield Mary Canesi, City Clerk 1600 Shore Road Northfield, NJ 08225 Mt. Vernon Ave Roosevelt Ave Jackson Ave Lido Dr Heather Dr English Lane Unnamed St St. Andrews Dr Hemsley Pl Bonnie Lee Dr Fairway Ave

#### Page 3

Department of Regional Planning & Economic Development Rt. 9 and Dolphin Ave. Northfield, NJ 08225

County Road: Shore Road CR 585

New Jersey Department of Transportation P.O. BOX 600 Trenton, NJ 08625-0600

No State Roads within 200 ft.

Sincerely,

\*\*William M. Johnson, CTA\*\*

William M. Johnson, CTA\*

City of Northfield

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Atlantic County

Zip Code08225	08225	08225	08225	08225	08225	08225	08225	08225	08225	08225	08225	08225
Owner Address City, State WOODRUM, DEREK & MISTY 1105 SHORE RD NORTHFIELD, NJ	SUMIOKA, KATSUZO & NORIKO 2 MT. VERNON AVENUE NORTHFIELD, NJ	SHARRA, JOSEPH & REBECCA 426 FAIRBANKS AVE NORTHFIELD, NJ	KUMMINGS, MILES 1021 SHORE RD NORTHFIELD, NJ	KLEIN, FREDRIC R 1015 SHORE ROAD NORTHFIELD, NJ	DIJORIO, MICHELE & RINO 1007 SHORE RD NORTHFIELD, NJ	CHAU, ERLAND 1001 SHORE RD NORTHFIELD, NJ	GUNNISON, STANLEY H & THERESE A 921 SHORE ROAD NORTHFIELD, NJ	NELSON, JOHN H. III & CHARLENE J 915 SHORE ROAD NORTHFIELD, NJ	GEIGER, MICHAEL 905 SHORE RD NORTHFIELD, NJ	ZIZZO, MICHAEL & CAROL 2 JACKSON AVE NORTHFIELD, NJ	CROOKS, LAUREN W 10 JACKSON AVE NORTHFIELD, NJ	JOO, TIMOTHY F 811 SHORE RD NORTHFIELD, NJ
Property Class 2	7	2	2	7	2	2	2	2	7	7	2	7
Property Location Additional Lot Additional Lot 1105 SHORE RD	2 MT VERNON AVE	4 MT VERNON AVE	1021 SHORE RD	1015 SHORE RD 15	1007 SHORE RD 17	1001 SHORE RD	921 SHORE RD	915 SHORE RD	905 SHORE RD	2 JACKSON AVE	10 JACKSON AVE	811 SHORE RD
Block Lot Qual 123 7.03	123 7.04	123 7.05	124 13	124	124 16	124 18	125 12	125 13	125 14	125 15	125 16	144

<u>Zip Code</u> 08225	07645	08225	08234	08225	08225	08225	08225	08225	08225	08225	08225	08225
Owner Address City, State RIVERO-ONTIVEROS, NELLY P 809 SHORE ROAD NORTHFIELD, NJ	LINUS REALTY, ULC 17 SUNRISE DR MONTVALE, NJ	CORTES, PABLO & ZENTENO, MANUELA 805 SHORE RD NORTHFIELD, NJ	WALTERS, JOHN S043 RIDGE AVE EGG HARBOR TWP, NJ	ACCC PROPERTIES, LLC C/O C FAHY ONE LEO FRASER DR NORTHFIELD, NJ	ACCC PROPERTIES, LLC C/O C FAHY ONE LEO FRASER DR NORTHFIELD, NJ	KUMMINGS, DIANE 122 HEMSLEY PLACE NORTHFIELD, NJ	ACCC PROPERTIES, LLC C/O C FAHY ONE LEO FRASER DR NORTHFIELD, NJ	STEINMETZ, SPENCER N 110 HEMSLEY PL NORTHFIELD, NJ	ACCC PROPERTIES, LLC C/O C FAHY ONE LEO FRASER DR NORTHFIELD, NJ	JJCC LONGPORT, LLC C/O C FAHY ONE LEO FRASER DR NORTHFIELD, NJ	JJCC LONGPORT, LLC C/O C FAHY ONE LEO FRASER DR NORTHFIELD, NJ	NESE-SANTOS, REGINA 1202 SHORE RD NORTHFIELD, NJ
Property Class 2	2	2	2	1	H	2	<del>.</del>	15F		Ħ	н	7
Property Location Additional Lot Additional Lot 809 SHORE RD	807 SHORE RD	805 SHORE RD	801 SHORE RD	SHORE RD REAR GOLF COURSE	HEMSLEY PL	122 HEMSLEY PL 4	116 HEMSLEY PL	110 HEMSLEY PL	102 HEMSLEY PL	HEMSLEY PL	HEMSLEY PL	1202 SHORE RD
Block Lot Qual 144 12	144 13	144	144	175	175 2	175 3	175 5	175 6	175 7	175 8	175 9	175 10

Zip Code08225	08225	08225	33418	08225	08225	33040	08225	08225	08225	08225	08225	08225
Owner Address City, State MCGINTY, CHARLES J. & CLAUDIA 1212 SHORE ROAD NORTHFIELD, NJ	CITY OF NORTHFIELD 1600 SHORE RD NORTHFIELD, NJ	CITY OF NORTHFIELD 1600 SHORE RD NORTHFIELD, NJ	ANN LYNETTE CONDON REVOCABLE TRUST 13360 SABEL CHASE PALM BEACG GARDENS, FL	RICH, FRANK & VICTORIA 103 HEMSLEY PLACE NORTHFIELD, NJ	TRIELO, BRUCE(IRREVOCABLE TR) 1128 SHORE RD NORTHFIELD, NJ	SIOK, DONALD DREW 1409 ALBURY ST APT.1 KEY WEST, FL	WRIGHT, BRYAN 1100 SHORE ROAD NORTHFIELD, NJ	CARPENTER, FRANKLIN R JR & AGNES V 716 SHORE RD NORTHFIELD, NJ	BERGEN, ANNE 714 SHORE ROAD NORTHFIELD, NJ	ARGUS, SHELLEY 712 SHORE RD NORTHFIELD, NJ	LEE, ELIZABETH W. Y. 710 SHORE RD NORTHFIELD, NJ	GRASSO, FRANCIS & BARNICLE, LORRAIN 706 SHORE RD NORTHFIELD, NJ
Property Class 2	15C	15C	7	7	2	4 <del>,</del>	7	7	2	2	2	2
Property Location Additional Lot Additional Lot 1212 SHORE RD	LANE OFF SHORE RD	LANE OFF SHORE RD	101 HEMSLEY PL	103 HEMSLEY PL	1128 SHORE RD	1124 SHORE RD 52	1100 SHORE RD	716 SHORE RD	714 SHORE RD	712 SHORE RD	710 SHORE RD	706 SHORE RD
Block Lot Qual 175	175 46	175 47	175 48.01	175 48.02	175 49	175 50	175 53	175 55	175 56	175 57	175 58	175 59

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(200)
REPORT
<b>ARIANCE</b>
>

Zip Code 08225	08225	08225	08225	08225	08225	08225	08225	08225	08225	08225	08225	08225
Owner Address City, State FINNEGAN, MELISSA 24 COUNTRY CLUB DR NORTHFIELD, NJ	SORBELLO, JEFFREY J & MELISSA G 147 BONNIE LEE DR NORTHFIELD, NJ	BROWN, GEOFFREY A 1 LIDO DR NORTHFIELD, NJ	RUBIN, ANDREA 145 BONNIE LEE DR NORTHFIELD, NJ	LONG, ANNMARIE V & JANOSIK, SARAH E 143 BONNIE LEE DR NORTHFIELD, NJ	TALLEY, MICHAEL & RANDI 141 BONNIE LEE DR NORTHFIELD, NJ	RUBIN, ADAM & CAROLINE 139 BONNIE LEE DR NORTHFIELD, NJ	CONNELL, JAMES T III 137 BONNIE LEE DR NORTHFIELD, NJ	MAZZEO, BENJAMIN F & MARSHA R 135 BONNIE LEE DRIVE NORTHFIELD, NJ	ELLISON, ARLENE L 1 HEATHER DR NORTHFIELD, NJ	POMPONI, FRANK & MARY 3 HEATHER DR NORTHFIELD, NJ	THOMAS, BRIAN A. & JILL 2 HEATHER DR NORTHFIELD, NJ	PARKER, JESSE & JULIE 198 ENGLISH LANE NORTHFIELD, NJ
Property Class 2	2	2	7	7	2	2	7	7	7	~	<b>7</b>	2
Property Location Additional Lot Additional Lot 24 COUNTRY CLUB DR	147 BONNIE LEE DR	1 LIDO DR	145 BONNIE LEE DR	143 BONNIE LEE DR	141 BONNIE LEE DR	139 BONNIE LEE DR	137 BONNIE LEE DR	135 BONNIE LEE DR 69	1 HEATHER DR	3 HEATHER DR	2 HEATHER DR 73	198 ENGLISH LANE
Block Lot Qual 175 60	175 61	175 62	175 63	175 64	175 65	175 66	175 67	175 68	175 70	175 71	175 72	175 74

	Zip Code 08225	08225	08225	08225	08225	08225	08225	08225	08225	08225	08225	08225	08225
Owner Address	GRAVES, GEORGE T III & JANET R 4 HEATHER DR NORTHFIELD, NJ	MCCULLY, MATTHEW C. & MICHELE 200 ENGLISH LN NORTHFIELD, NJ	FUSCO, ANTHONY,-JR 202 ENGLISH LN NORTHFIELD, NJ	GRAFF, KERRY W & BAILEY-, DEBORAH J 204 ENGLISH LANE NORTHFIELD, NJ	GIRARD, JEANNE 22 COUNTRY CLUB DR. NORTHFIELD, NJ	STOCKTON, SEAN 144 BONNIE LEE DR NORTHFIELD, NJ	MAISTROW, DANIEL 142 BONNIE LEE DR NORTHFIELD, NJ	PILONE, MICHELE 140 BONNIE LEE DR NORTHFIELD, NJ	D'ALONZO, FRANK JR & NANETTE I 138 BONNIE LEE DRIVE NORTHFIELD, NJ	POTOPCHUK, ANDREW III & KELLI A 136 BONNIE LEE DR NORTHFIELD, NJ	HOLLANDER, CHARLOTTE 134 BONNIE LEE DR NORTHFIELD, NJ	NEWMAN, PAUL & SAYEGH, KIMBERLY 130 BONNIE LEE DRIVE NORTHFIELD, NJ	ACCC PROPERTIES, LLC C/O C FAHY ONE LEO FRASER DR NORTHFIELD, NJ
Property Class	2	7	7		7	2	2	7	7	7	7	2	п
Property Location Additional Lot Additional Lot	4 HEATHER DR	200 ENGLISH LANE	202 ENGLISH LANE	204 ENGLISH LANE	22 COUNTRY CLUB DR	144 BONNIE LEE DR	142 BONNIE LEE DR	140 BONNIE LEE DR	138 BONNIE LEE DR	136 BONNIE LEE DR	134 BONNIE LEE DR 8	130 BONNIE LEE DR 10,11	ENGLISH LANE
Block Lot Qual	175 75	175 76	175 77	175 78	177	177 2	177 3	177	177 5	177 6	177	177 9	179.01 1.01

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Zip_Code08225	10065	08225	08225	08225	08225	08225	08225	08225	08225	10065
Owner Address City, State MCFADDEN, LOUIS P. JR. 10 ST ANDREWS DR NORTHFIELD, NJ	NEW JERSEY HOME BUYERS LLC 369 E 62ND ST NEW YORK, NY	SHAFFNER, GORDON E & JO-ANN 1 ST ANDREWS DR NORTHFIELD, NJ	JANEL, MICHAEL & ROBERTA 2 ST ANDREWS DR NORTHFIELD, NJ	WRAY, JEFFREY G. 201 ENGLISH LANE NORTHFIELD, NJ	KYLE, HOWARD J & MONICA A 129 BONNIE LEE DR NORTHFIELD, NJ	DORNER, JOSEPH F. & PATRICIA M. 127 BONNIE LEE DR NORTHFIELD, NJ	CITY OF NORTHFIELD 1600 SHORE RD NORTHFIELD, NJ	ACCC PROPERTIES, LLC C/O C FAHY ONE LEO FRASER DR NORTHFIELD, NJ	ACCC PROPERTIES, LLC C/O C FAHY ONE LEO FRASER DR NORTHFIELD, NJ	NEW JERSEY HOME BUYERS, LLC 369 E 62ND ST NEW YORK, NY
Property Class 2	2	7	7	7	7	7	15C	<del>, .</del>	Ħ	1
Property Location Additional Lot Additional Lot 10 ST ANDREWS DR	9 ST ANDREWS DR SEE 180/1	1 ST ANDREWS DR	2 ST ANDREWS DR	201 ENGLISH LANE	129 BONNIE LEE DR	127 BONNIE LEE DR	ENGLISH LANE	ENGLISH LANE	ENGLISH LANE	LAKE SEE 179.01/1.03
Block Lot Qual 179.01 1.02	179.01 1.03	179.01 2	179.01 3	179.01 4	179.01 5	179.01 6	179.01 15	179.01 16	179.01 17	180 1

#### TAX COLLECTOR'S OFFICE 1600 Shore Road Northfield, NJ 08255

Phone# 609-641-2832 ext. 126 Fax# 609-646-7175

#### Certification of Taxes & Sewer Paid

TO:

Eric S. Goldstein

RE:

**Atlantic City Country Club** 

From:

Robin Atlas, Tax Collector

DATE:

July 25, 2024

RE:

Certificate of taxes & sewer paid

BLOCK/LOT(S):

**Block 175 Lot 48** 

PROPERTY LOCATION:

900 Shore Road

PROPERTY OWNER OF RECORD:

**ACCC** Properties, LLC

This is to verify that this property located in Northfield has paid taxes to November 1, 2024 and sewer to September 1, 2024.

Form W-9 (Rev. March 2024) Department of the Treasury Internal Revenue Service

# Request for Taxpayer Identification Number and Certification

Go to www.irs.gov/FormW9 for instructions and the latest information.

Give form to the requester. Do not send to the IRS.

Befor	e yo	Du begin. For guidance related to the purpose of Form W-9, see <i>Purpose of Form</i> , below.  Name of entity/individual. An entry is required. (For a sole proprietor or disregarded entity, enter the centity's name on line 2.)	wner's n	ame o	n line <sup>-</sup>	I, and	enter the	busir	ess/dis	regarded		
		CC Properties, LLC										
	2	Business name/disregarded entity name, if different from above.										
Print or type. Specific Instructions on page 3.	За	Check the appropriate box for federal tax classification of the entity/individual whose name is entered only <b>one</b> of the following seven boxes.  Individual/sole proprietor  C corporation  S corporation  Partnership  LLC, Enter the tax classification (C = C corporation, S = S corporation, P = Partnership)	_	1. Che	te	cert	emptions tain entit instruct of payee	ies, no ions o	ot indivi n page	duals;		
Print or type. c Instructions		LLC. Enter the tax classification (C = C corporation, S = S corporation, P = Partnership) Note: Check the "LLC" box above and, in the entry space, enter the appropriate code (C, S, or P) classification of the LLC, unless it is a disregarded entity. A disregarded entity should instead che box for the tax classification of its owner.	for the tack the ap	ax	_	Exemp	otion fro	m Fore	eign Ac	count Tax		
box for the tax classification of its owner.  Other (see instructions)  Compliance Act (FATCA) recode (if any)												
3b If on line 3a you checked "Partnership" or "Trust/estate," or checked "LLC" and entered "P" as its tax classification, and you are providing this form to a partnership, trust, or estate in which you have an ownership interest, check this box if you have any foreign partners, owners, or beneficiaries. See instructions												
See	5	Address (number, street, and apt. or suite no.). See instructions.	Reques	ter's r	name a	nd add	lress (op	tional)				
0,	On	e Leo Fraser Dr.										
	6	City, state, and ZIP code										
		rthfield, NJ 08225										
	7	List account number(s) here (optional)										
Par		Taxpayer Identification Number (TIN)										
backu reside	p w nt a s, it	r TIN in the appropriate box. The TIN provided must match the name given on line 1 to avithholding. For individuals, this is generally your social security number (SSN). However, folien, sole proprietor, or disregarded entity, see the instructions for Part I, later. For other is your employer identification number (EIN). If you do not have a number, see <i>How to ge</i>	or a	or	iai sec	[	umber	] - [				
				Emp	oloyer	identif	ication	numbe	er			
		ne account is in more than one name, see the instructions for line 1. See also <i>What Name of Give the Requester</i> for guidelines on whose number to enter.	and	4	6 -	5	0 9	2	4 6	7		
Part		Certification										
Under	pe	nalties of perjury, I certify that:										
		mber shown on this form is my correct taxpayer identification number (or I am waiting for										
Ser	vice	nt subject to backup withholding because (a) I am exempt from backup withholding, or (b) (IRS) that I am subject to backup withholding as a result of a failure to report all interest of the resubject to backup withholding; and	I have n or divide	not be ends,	en no or (c)	tified I the IR	by the l S has r	ntern otifie	al Rev	enue hat I am		
3. I an	ı a	U.S. citizen or other U.S. person (defined below); and										
4. The	FA	TCA code(s) entered on this form (if any) indicating that I am exempt from FATCA reportir	g is cor	rect.								
becau	se y itio	ion instructions. You must cross out item 2 above if you have been notified by the IRS that you have failed to report all interest and cividends on your tax return. For real estate transaction or abandonment of secured preperty cancellation of debt, contributions to an individual retain interest and dividends, you are not required to sign the certification, but you must provide you	ons, item irement :	n 2 do arrang	es not gemen	apply	. For m	ortgaç jenera	ge inte ılly, pa	rest paid, yments		
Sign Here		Signature of U.S. person	ate		8	8	70	1				
Ger	1e	ral Instructions  New line 3b has b										

Section references are to the Internal Revenue Code unless otherwise noted.

**Future developments.** For the latest information about developments related to Form W-9 and its instructions, such as legislation enacted after they were published, go to www.irs.gov/FormW9.

#### What's New

Line 3a has been modified to clarify how a disregarded entity completes this line. An LLC that is a disregarded entity should check the appropriate box for the tax classification of its owner. Otherwise, it should check the "LLC" box and enter its appropriate tax classification.

New line 3b has been added to this form. A flow-through entity is required to complete this line to indicate that it has direct or indirect foreign partners, owners, or beneficiaries when it provides the Form W-9 to another flow-through entity in which it has an ownership interest. This change is intended to provide a flow-through entity with information regarding the status of its indirect foreign partners, owners, or beneficiaries, so that it can satisfy any applicable reporting requirements. For example, a partnership that has any indirect foreign partners may be required to complete Schedules K-2 and K-3. See the Partnership Instructions for Schedules K-2 and K-3 (Form 1065).

#### Purpose of Form

An individual or entity (Form W-9 requester) who is required to file an information return with the IRS is giving you this form because they