



Eric S. Goldstein
Managing Partner

egoldstein@ndglegal.com

4030 Ocean Heights Avenue
Egg Harbor Township, NJ 08234

t 609 927 1177

f 609 926 9721

August 13, 2024

VIA UPS GROUND DELIVERY & EMAIL: (ratlas@cityofnorthfield.com)

Robin Atlas, CTC, CMR
City of Northfield Planning Board
1600 Shore Road
Northfield, NJ 08225

RE: Preliminary and Final Major Site Plan Application
Applicant: ACCC Properties, LLC
Block 173, Lot 13
Block 175, Lots 1.01, 2, 48, 54, 17, 7, 5 and 39
Block 179.01, Lots 1.01, 16, 17 and 18
1 Leo Fraser Drive
Northfield, New Jersey 08225
Our File No. 11026-032

Dear Ms. Atlas:

This office represents ACCC Properties, LLC, (the “Applicant”) in connection with the above-referenced application for Preliminary and Final Major Site Plan approval and “c” variance relief pursuant to N.J.S.A. 40:55D-70(c)(2) at the above-referenced property. The subject property is currently developed with the Atlantic City Country Club. Through this application, the Applicant is proposing to construct, establish and maintain a 7,000 s.f. enclosed ballroom addition with nearby outdoor seating, a reconstruction of a pre-existing patio, construction of a new patio and walkways, and other associated landscaping and site improvements.

The Applicant seeks “c” variance relief to construct a cupola above the ballroom which will be 11.2 ft. above the height of the roof ridge, with such roof ridge being at about the maximum permitted height of a building in the C – Country Club Zoning District. Additionally, the Applicant is proposing a total building length of 385 ft. where 240 ft. is the maximum permitted building length in the Zoning District. Lastly, the Applicant seeks two bulk variances from signage requirements. Specifically, the Applicant is proposing two non-flashing identification signs with a setback of 0 ft. where only one non-flashing identification sign with a minimum setback of 25 ft. is permitted.

In support of the requested relief, enclosed herein please find the following:

1. Three (3) copies of the completed City of Northfield Planning Board Application;
2. Three (3) copies of the completed City of Northfield Planning Board Site Plan Checklist (to be supplied under separate cover);
3. Three (3) copies of the Site Plan Set, prepared by Arthur Ponzio, Co., dated July 9, 2024;
4. Three (3) copies of the Architectural Plan Set, prepared by DAS Architects, Inc., dated July 11, 2024;
5. Three (3) copies of the Schematic Design Plan Set, prepared by DAS Architects, Inc., dated July 11, 2024;
6. Three (3) copies of the completed and notarized Certification of Owner form;
7. Three (3) copies of the Applicant's Corporate Disclosure Statement;
8. Three (3) copies of the 200' Property Owners List;
9. Three (3) copies of Proof of Payment of Taxes; and
10. Three (3) copies of the Applicant's W-9.

Lastly, enclosed herein please find the City of Northfield Planning Board Fee Schedule and two checks in the amounts of \$2,750.00 and \$1,000.00, representing the required application fee and escrow deposit respectively.

Please do not hesitate to contact me should you require any additional documents or information in order to deem this application complete.

Once deemed complete, please notify me as to the date that the Planning Board will consider the application and our firm will, of course, provide the required public notice in advance of that date and supply fifteen (15) additional copies of the complete application to the City of Northfield Planning Board Members as required.

Should you have any further questions or require any additional documentations in advance of the hearing, please do not hesitate to contact me.

Thank you, as always, for your kind attention and usual courtesies.

Very truly yours,

NEHMAD DAVIS & GOLDSTEIN, P.C.

BY: 

ERIC S. GOLDSTEIN

ESG/ES

Enclosures

cc.: Joel M. Fleishman, Esquire, Planning Board Solicitor
(w/encl. via UPS Ground Delivery and Email: joel@fdlawllc.com)
Matthew F. Doran, Jr., PE, PP, PLS, CME, Planning Board Engineer
(w/encl. via UPS Ground Delivery and Email: mattdoranjr@gmail.com)
Karl Senseman (w/encl. via Email: senseman.karl@gmail.com)
Nick Borro (w/encl. via Email: borro@ottingergolf.com)
Mike Burke (w/encl. via Email: burke@ottingergolf.com)
Angela Zbikowski (w/encl. via Email: azbikowski@accountryclub.com)
Arthur W. Ponzio, Jr., PP, PLS (w/encl. via Email: aponzio@aponzio.com)
Jon J. Barnhart, PE, PP (w/encl. via Email: jbarnhart@aponzio.com)
Jay Rockafellow, Director of Production
(w/encl. via Email: jrockafellow@dasarchitects.com)
Emanuel Sanfilippo, III, Esquire (w/encl. via Email: esanfilippo@ndglegal.com)

026231

ATLANTIC CITY COUNTRY CLUB 1, LLC dba ATLANTIC CITY COUNTRY CLUB NORTHFIELD, NJ 08225

REFERENCE NO.	DESCRIPTION	INVOICE DATE	INVOICE AMOUNT	DISCOUNT TAKEN	AMOUNT PAID
ESCROW FEE - BALLR	ESCROW FEE - BALLROOM	08/05/2024	2,750.00	0.00	2,750.00

CHECK DATE	CHECK NO.	PAYEE	DISCOUNTS TAKEN	CHECK AMOUNT
8/5/2024	26231	City of Northfield		2,750.00

ATLANTIC CITY COUNTRY CLUB 1, LLC
 dba ATLANTIC CITY COUNTRY CLUB
 ONE LEO FRASER DR.
 NORTHFIELD, NJ 08225
 (609) 236-4411

TRUIST 
 2100 NEW RD SUITE B1
 LINWOOD, NJ 08221-1048

55-471
 312

026231

CHECK NO.	DATE	AMOUNT
26231	8/5/2024	2,750.00

PAY
 TO THE
 ORDER
 OF:

Two thousand seven hundred fifty and 00/100*****
 City of Northfield
 1600 Shore Road
 Northfield, NJ 08225


 AUTHORIZED SIGNATURE

⑈026231⑈ ⑆031204710⑆ 1310000932259⑈

026230

ATLANTIC CITY COUNTRY CLUB 1, LLC dba ATLANTIC CITY COUNTRY CLUB NORTHFIELD, NJ 08225

REFERENCE NO.	DESCRIPTION	INVOICE DATE	INVOICE AMOUNT	DISCOUNT TAKEN	AMOUNT PAID
APPLICATION FEE - BA	APPLICATION FEE - BALLROOM	08/05/2024	1,000.00	0.00	1,000.00

CHECK DATE	CHECK NO.	PAYEE	DISCOUNTS TAKEN	CHECK AMOUNT
8/5/2024	26230	City of Northfield		1,000.00

ATLANTIC CITY COUNTRY CLUB 1, LLC

dba ATLANTIC CITY COUNTRY CLUB
ONE LEO FRASER DR.
NORTHFIELD, NJ 08225
(609) 236-4411

TRUIST 

2106 NEW RD SUITE 111
LIMWOOD, NJ 08221-1046


55-471
312

026230

CHECK NO.	DATE	AMOUNT
26230	8/5/2024	1,000.00

PAY
TO THE
ORDER
OF:

One thousand and 00/100*****
City of Northfield
1600 Shore Road
Northfield, NJ 08225



AUTHORIZED SIGNATURE

⑈026230⑈ ⑆031204710⑆ 1310000932259⑈

PLANNING BOARD APPLICATION

CASE # _____

FOR OFFICIAL USE ONLY

Date of Application Received: _____

Date: _____ Date of Deposit

Fee Paid _____

Date: _____ Affidavit of Service

Time Period Expires _____

Date File Complete _____

Hearing Date _____

INFORMATION REGARDING APPLICANT

Applicant's Full Legal Name ACCC Properties, LLC

Applicant's Mailing Address 1 Leo Fraser Drive, Northfield, NJ 08225

Applicant's Phone Number 856-649-8515 e-mail address Borro@ottingergolf.com

Applicant is a: Corporation Partnership Individual Limited Liability Company

Pursuant to N.J.S.A. 40:55D-48.1, the names and addresses of all persons owning 10% of the stock in a corporation or partnership must be disclosed. Attach list.

NATURE OF APPLICATION, check appropriate items:

- Appeal of action of administrative officer
- Interpretation of development ordinance or map
- Variance: "C" Variance (Hardship)
- "D" Use Variance
- "D" Non-Conforming Use
- Conditional use
- Subdivision - Minor
- Subdivision - Major
- Site Plan - Waiver
- Site Plan - Minor
- Site Plan - Major
- Other _____

Proposed use, Building, or Subdivision is contrary to:
List Article and Section of the Ordinance from which Variance is sought:

See Attached Cover Letter & Sheet C-4 of Site Plan Set

ART. _____ Section _____ Required _____ Proposed _____

ART. _____ Section _____ Required _____ Proposed _____

ART. _____ Section _____ Required _____ Proposed _____

If additional space is needed, attach list to the application

INFORMATION REGARDING PROPERTY:

Address: 1 Leo Fraser Drive, Northfield, NJ 08225

Tax Map BLK 173 LOT(S) 13 Dimension of Property _____

BLK 175 LOT(S) 1.01, 2, 48, 54, 17, 7, 5 & 39 Dimension of Property _____

Block: 179.01 Lots: 1.01, 16, 17 & 18

Zoning District C - Country Club Zoning District

Location approximately _____ feet from intersection of _____

and _____

Last Previous Occupancy _____

	<u>Size Existing Building</u>	<u>Proposed Structure</u>
Front (feet)	See Sheet C-4 of Site Plan Set	_____
Deep (feet)	_____	_____
Square (feet)	_____	_____
Height (feet)	_____	_____
Story	_____	_____
Building Coverage	_____	_____

SET BACKS ZONING REQ.

Present

Proposed

Frontage
Y or N

See Sheet C-4 of Site Plan Set

Corner Lot

Front Yard

Front Yard

Side

Side

Rear

Lot Size Area

Prevailing Setbacks of Building within one Block _____ ft.

Present use Existing Country Club proposed use Existing Country Club to Remain, Addition of Ballroom proposed

Has there been any previous appeal or application involving these premises?

Yes or No

If yes, when _____

and to whom _____

Nature of appeal or application _____

Disposition _____ Date _____

Application for Subdivision _____ site plan - conditional use approval _____

The relationship of the applicant to the property in questions is:

Owner Tenant _____

Purchaser under Contract (submit copy) _____ Other _____

If the applicant is not the owner of the property, the applicant must obtain and submit a copy of this application signed by the owner in the space provided.

Owner's Authorization: I hereby certify that I reside at **Applicant is the Owner.**

In the County of _____ State of _____

and that I am the owner of all that certain lot, _____; Piece or parcel of land known as

Block _____ Lot(s) _____ commonly known as _____

which property is the subject of the applicant, and said application is hereby authorized by me.

Owner's Signature  _____

Applicant's Attorney Eric. S. Goldstein, Esquire Phone # 609-927-1177

Address 4030 Ocean Heights Avenue, Egg Harbor Twp., NJ 08234

Applicant's Engineer Arthur Ponzio Co. Phone # 609-344-8194

Address 400 North Dover Avenue, Atlantic City, NJ 08401

Applicant's Architect DAS Architects, Inc. Phone # 215-751-9008

Address 8 Penn Center, Suite 1300, Philadelphia, PA 19103

Applicant's Planner Arthur Ponzio Co. Phone # 609-344-8194

Address 400 North Dover Avenue, Atlantic City, NJ 08401

Applicant's Verification:

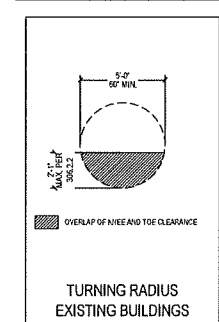
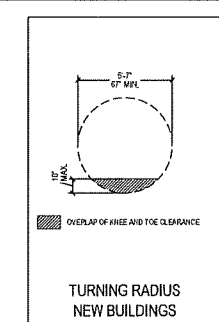
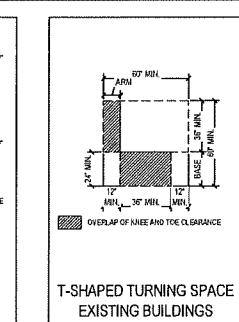
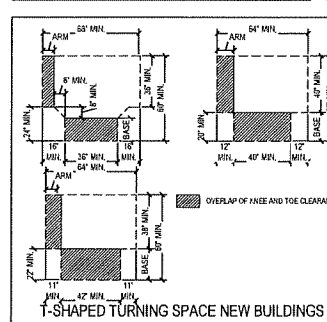
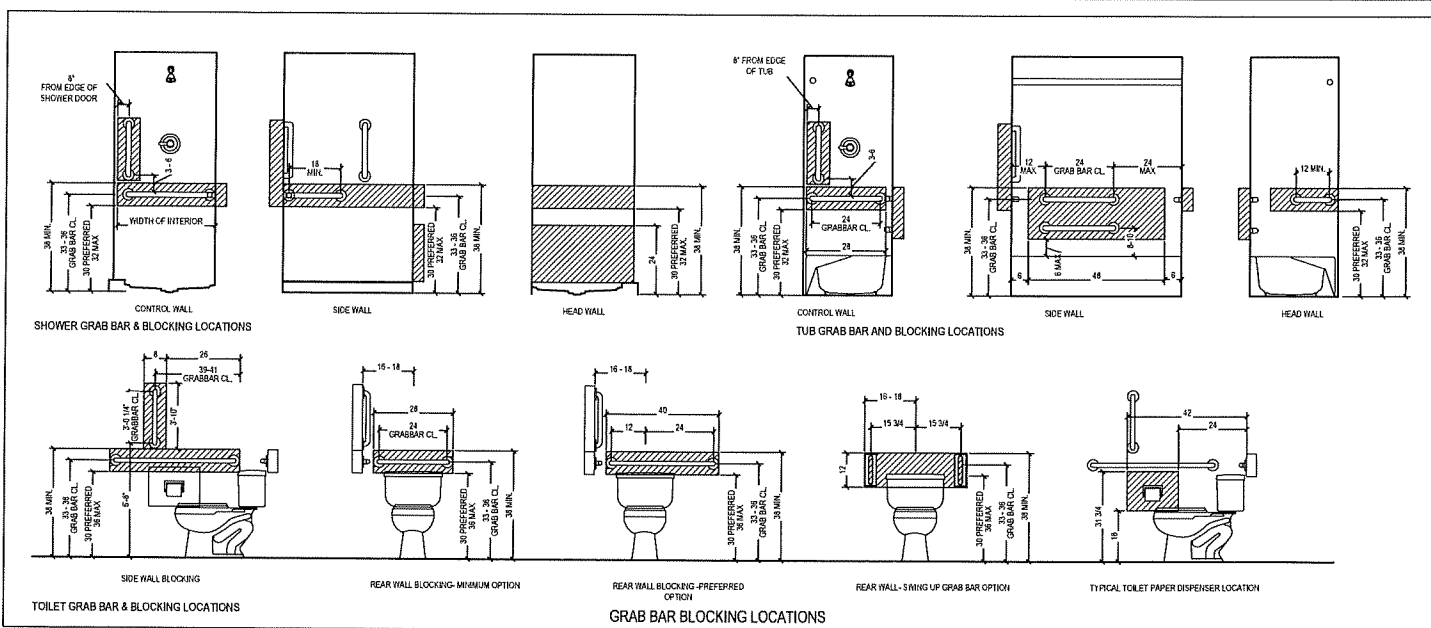
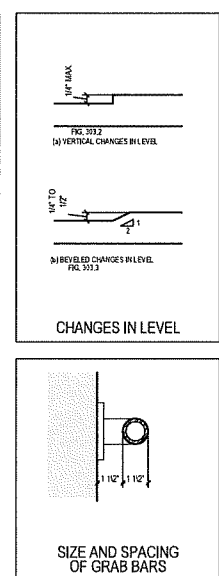
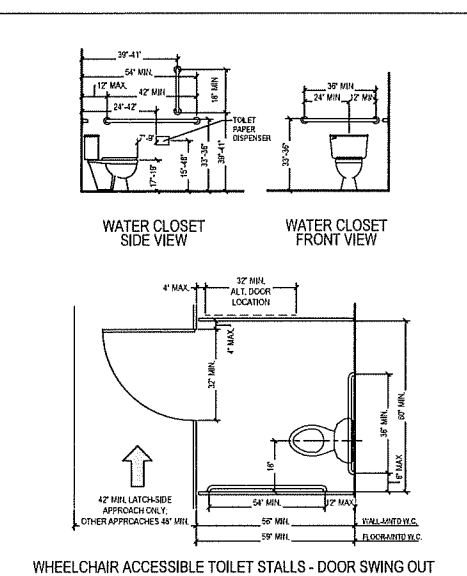
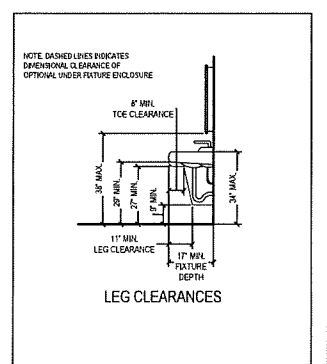
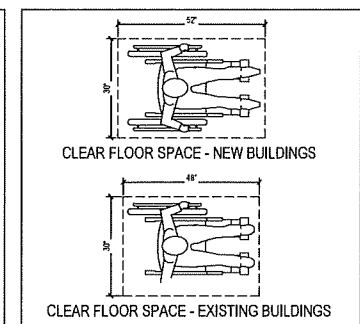
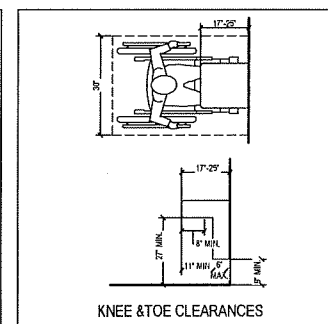
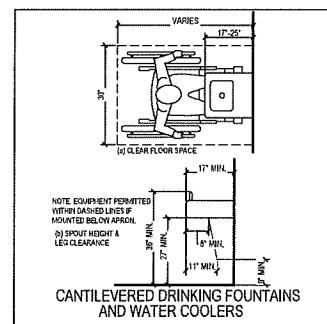
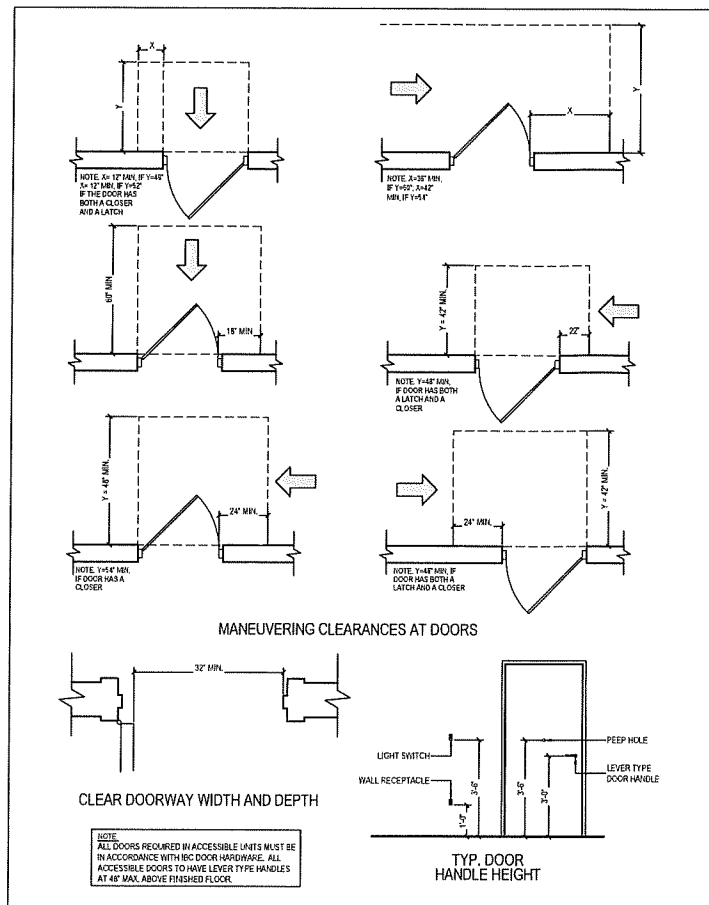
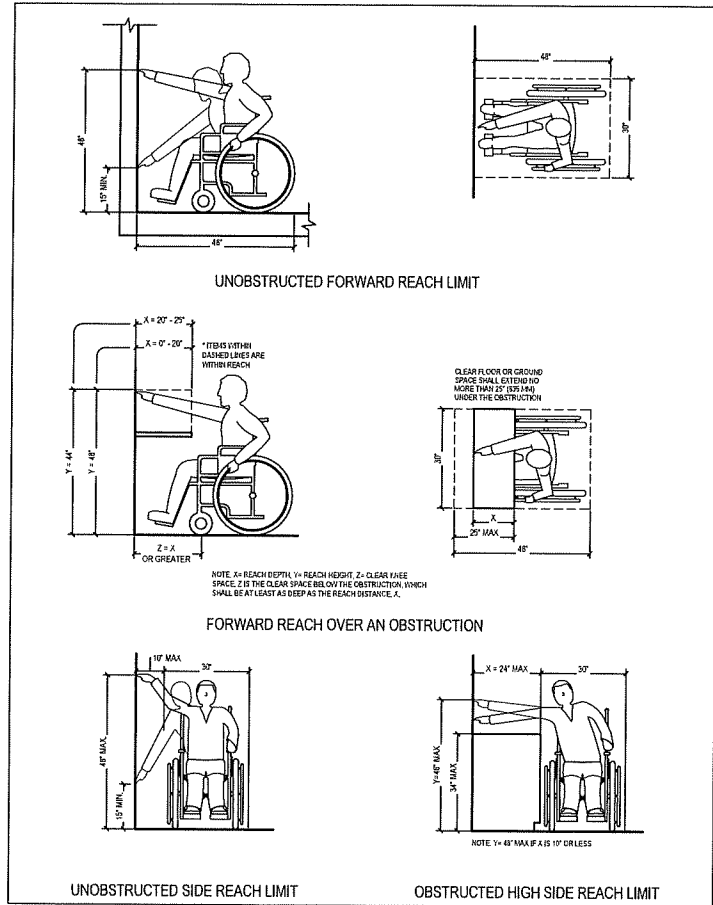
I hereby certify that the above statements made by me and the information contained in the papers submitted in connection with application is true.

Applicants Signature  _____

Notice: The applicant is responsible to publish and serve notice of this application after receiving a hearing date from the Secretary of the Planning Board, ten (10) days prior to the hearing date.

CHAPTER 11 OF IBC-2021 & ICC A117.1-2017

ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES STANDARDS



ATLANTIC CITY COUNTRY CLUB BALLROOM ADDITION
 1 LEOPRASER DRIVE
 NORTHFIELD, NJ 08225

DAS
 ARCHITECTS
 + INTERIORS

07/11/24 - SCHEMATIC DESIGN NOT FOR CONSTRUCTION

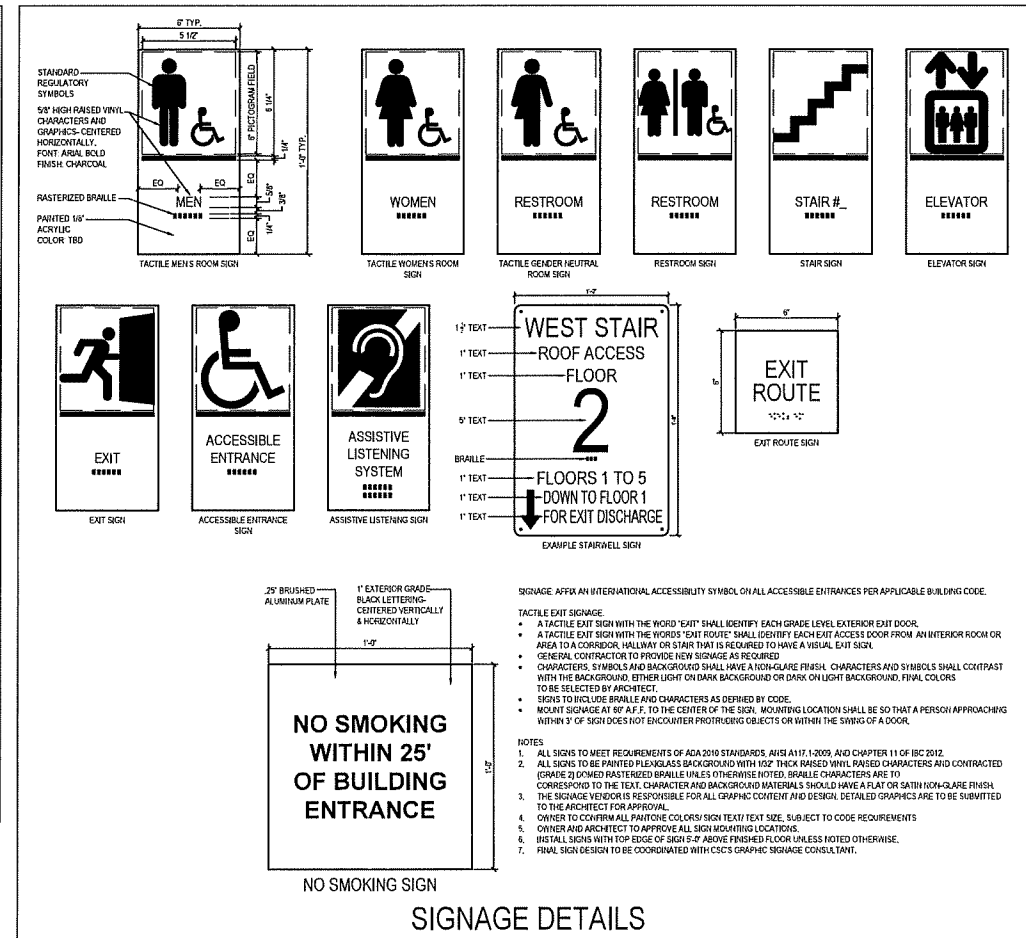
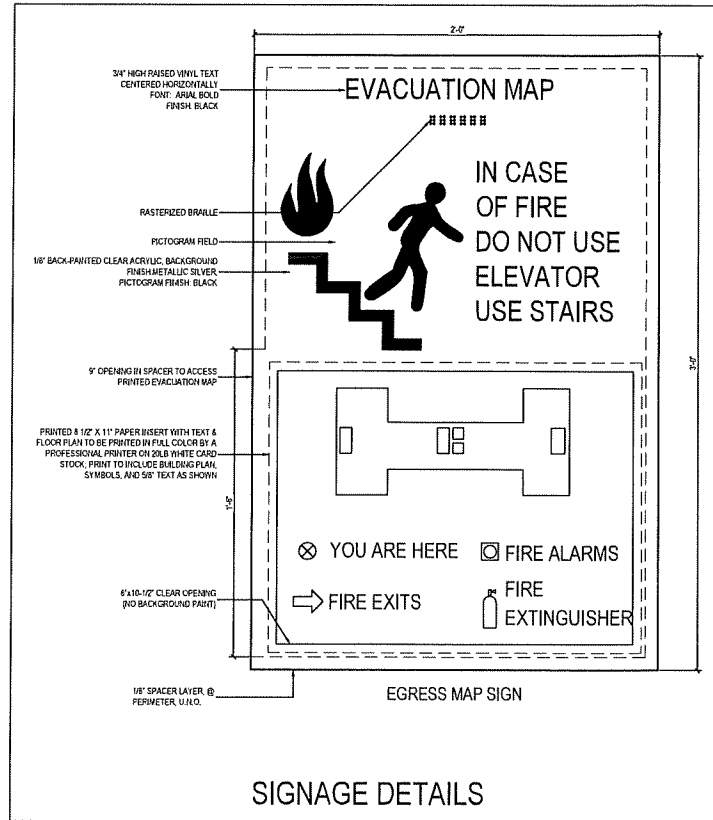
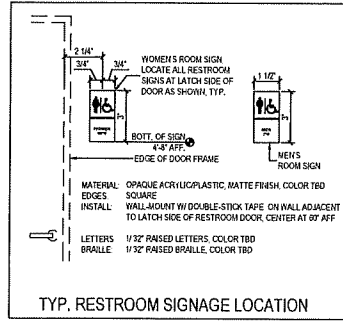
DRAWING TITLE
TYPICAL ADA DETAILS

REVISIONS
 PROJECT NUMBER
 1625
 DATE
 XXXX/XXXX
 DRAWN BY
 XX
 REVIEWED BY
 XX
 SCALE
 NOT TO SCALE
 DRAWING NUMBER
G-020

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CONSTRUCTION SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL NOTIFY THE ARCHITECT OF ANY CHANGES BEFORE PROCEEDING WITH THE WORK.

CHAPTER 11 OF IBC-2021 & ICC A117.1-2017
ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES STANDARDS



ATLANTIC CITY COUNTRY CLUB
BALLROOM ADDITION
1 LEONARDER DRIVE
NORTHFIELD, NJ 08226



DAS ARCHITECTS, INC.
8 PENN CENTER SUITE 1300
PHILADELPHIA, PA 19103
TEL: 215.751.5008
FAX: 215.751.5118
www.dasarch.com

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DRAWING TITLE

TYPICAL
ADA DETAILS

REVISIONS

PROJECT NUMBER
1024

DATE
XXXX/XX/XX

DRAWN BY
XX

REVIEWED BY
XX

SCALE
NOT TO SCALE

DRAWING NUMBER
G-021

07/11/24 - SCHEMATIC DESIGN NOT FOR CONSTRUCTION

CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS AS ALL NOTED BY THE ARCHITECT OR ANY OTHER REFERENCED PROCEDURES WITH THE WORK.

OCCUPANT LOAD TABULATIONS - EXISTING BUILDING

SPACE/USE	FLOOR AREA (SF)	OCCF FACTOR (OCC/TSF)	OCCUPANT LOAD	ACTUAL OCCUPANT LOAD
OFFICES	637	1/100	7	7
LOBBY	211	1/5	42	47
LEO FRASER ROOM	153	1/5	31	31
SONNY FRASER ROOM	258	1/5	58	58
MODERMOTT ROOM	511	1/5	103	103
STORAGE	708	1/100	3	3
PRE-FUNCTION A & B			0	0
WAIT STATION	123	1/200	1	1
GREEN ROOM (NONCONCENTRATED SEATING)	165	1/15	11	20
GREEN ROOM (FIXED SEATING)			10	10
BAR ROOM	226	1/15	14	26
KITCHEN 115	1,801	1/200	10	10
TAP ROOM (BAR EMPLOYEE)	165	1/200	1	2
TAP ROOM (NONCONCENTRATED SEATING)	754	1/15	52	86
TAP ROOM (FIXED SEATING)			12	12
TAP ROOM (CHAIRS ONLY)	44	1/7	7	10
KITCHEN 117	519	1/200	3	3
LOCKERS 120 (NONCONCENTRATED SEATING)	973	1/15	85	85
LOCKERS 120 (LOCKER STORAGE)	1,487	1/50	30	30
LOCKERS 118 (LOCKER STORAGE)	540	1/50	12	12
OFFICE 122	162	1/100	2	2
PRO SHOP	978	1/50	17	17
MECH/STORAGE 124	384	1/200	2	2
OFFICE 126	105	1/100	2	2
STORAGE 128	126	1/200	1	1
BAG STORAGE	832	1/200	3	3
STORAGE 134	61	1/200	1	1
STORAGE 135	121	1/200	1	1
SIMULATOR 136 (NONCONCENTRATED SEATING)	247	1/15	17	18
SIMULATOR 136 (STANDING - DRINK/RAIL)	104	1/5	21	21
SIMULATOR 136 (STANDING - BAR)	21	1/5	5	5
SIMULATOR 136 (BAR EMPLOYEE)	25	1/200	1	1
SIMULATOR 137 (NONCONCENTRATED SEATING)	323	1/15	22	22
SIMULATOR 137 (FIXED BENCH SEATING)			18	18
SIMULATOR 137 (SIMULATOR)			3	3
LOCKERS 201	318	1/50	7	7
		SUBTOTAL	584	644
TOTAL OCCUPANT LOAD				644

OCCUPANT LOAD TABULATIONS - ADDITION

SPACE/USE	FLOOR AREA (SF)	OCCF FACTOR (OCC/TSF)	OCCUPANT LOAD	ACTUAL OCCUPANT LOAD
1ST FLOOR				
STORAGE	20	1/200	1	1
WARNING KITCHEN	900	1/200	5	4
BALL ROOM ENTRY	415	1/5	89	89
BALLROOM TERRACE	434	-	-	-
BALLROOM	4,828	1/15	322	322
BAR (EMPLOYEE)	153	1/200	1	1
STORAGE	143	1/200	1	1
2ND FLOOR				
BALCONY	212	-	-	-
		SUBTOTAL	419	418
TOTAL OCCUPANT LOAD				418

PLUMBING FIXTURE LOADS

ASSEMBLY SPACES - 1,062 OCCUPANTS									
IBC TABLE 2902.1 - A2 ASSEMBLY									
EXISTING - 644 OCCUPANTS					ADDITION - 418 OCCUPANTS				
FIXTURES	REQUIRED		PROVIDED		FIXTURES	REQUIRED		PROVIDED	
	MALE	FEMALE	MALE	FEMALE		MALE	FEMALE	MALE	FEMALE
WATER CLOSET	5	5	-	-	WATER CLOSET	3	3	3	3
LAVATORIES	2	2	-	-	LAVATORIES	2	2	5	5
URINALS	-	-	-	-	URINALS	-	-	8	3
DRINKING FOUNTAINS	-	-	-	-	DRINKING FOUNTAINS	-	-	-	-

- NOTES:
 1. DRINKING FOUNTAINS FOR ASSEMBLY USE WILL BE PROVIDED BY THE FREE WATER DISPENSER ON THE SOCA FOUNTAIN MACHINE.
 2. SEPARATE DRINKING FOUNTAINS ARE TO BE PROVIDED FOR BUSINESS (B) FOR PEOPLE WHO USE A WHEELCHAIR & (U) FOR STANDING PERSONS OR A SINGLE DRINKING FOUNTAIN THAT COMPLIES WITH THE REQUIREMENTS FOR PEOPLE WHO USE A WHEELCHAIR AND STANDING PERSONS IS TO BE PROVIDED.

CODE SUMMARY

APPLICABLE CODES:
 2021 INTERNATIONAL BUILDING CODE, NEW JERSEY EDITION
 2021 NATIONAL STANDARD PLUMBING CODE, NEW JERSEY EDITION
 2020 NATIONAL ELECTRICAL CODE
 2021 INTERNATIONAL ENERGY CONSERVATION CODE
 2021 INTERNATIONAL MECHANICAL CODE

ACCESSIBILITY CODE: ICCANSI A117.1-2017; ICC 300-2017

USE GROUP: PROPOSED: A2 (BALLROOM)
 EXISTING: A2 (BANQUET HALL & RESTAURANT) WITH ACCESSORY USES OF B (GOLF CLUB), M (PRO-SHOP), & S-1 (LOCKER ROOMS)

CONSTRUCTION TYPE: EXISTING VB
 ADDITION VA

OCCUPANCY LOAD: REFER TO THE 'OCCUPANCY LOAD TABULATIONS' TABLE FOR TOTAL OCCUPANCY

FIRE PROTECTION SYSTEM: FULLY SPRINKLERED PER NFPA 13

MAXIMUM HEIGHT ALLOWABLE: 3 STORIES, 70'

ACTUAL HEIGHT: PROPOSED 2 STORIES, 35'-0"

MAXIMUM AREA ALLOWANCE: 48,000 SF PER STORY AT ADDITION

GROSS BUILDING AREA:
 EXISTING
 27,046 GSF (EXISTING FIRST FLOOR)
 318 GSF (EXISTING LOFT AT MEN'S LOCKER ROOM)
 3,130 GSF (EXISTING 2ND FLOOR)
 PROPOSED ADDITION:
 5,493 GSF (BASEMENT)
 8,512 GSF (1st FLOOR)
 139 GSF (2nd FLOOR)

EXIT & TRAVEL DISTANCES:
 MINIMUM NUMBER OF EXITS: (2) MINIMUM AT THE ADDITION
 MAX. DISTANCE TO EXITS: 250 FEET WITH SPRINKLER SYSTEM

DEAD END CORRIDORS: 20 FEET MAX (WITH SPRINKLER SYSTEM @ A USE GROUP)

COMMON PATH OF TRAVEL: 75 FEET MAX WITH LESS THAN 50 OCCUPANTS
 30 FEET MAX WITH 50 OR MORE OCCUPANTS

FIRE RATINGS:
 STRUCTURAL FRAME 1 HOUR
 BEARING WALLS - EXTERIOR 1 HOUR
 BEARING WALLS - INTERIOR 1 HOUR
 NON-BEARING WALLS - EXT. 0 HOUR IF < 30' SEPARATION; 0 HOUR IF > 30' SEPARATION
 NON-BEARING WALLS - INT. 0 HOUR
 FLOOR CONSTRUCTION 1 HOUR
 ROOF CONSTRUCTION 1 HOUR
 SHAFT/ELEVATOR HOISTWAYS 1 HOUR
 VERTICAL EXIT ENCLOSURES 1 HOUR

EGRESS WIDTH:
 CORRIDOR 44" CLEAR MIN.
 STAIR 48" CLEAR MIN.
 DOOR 32" CLEAR MIN.

ATLANTIC CITY COUNTRY CLUB BALLROOM ADDITION

1 LEO FRASER DRIVE NORTHFIELD, NJ 08225

DAS ARCHITECTS + INTERIORS

DAS ARCHITECTS, INC.
 8 PENN CENTER, SUITE 1000
 PHILADELPHIA, PA 19103
 TEL: 215-751-9008
 FAX: 215-751-9118
 www.dasarch.com

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DRAWING TITLE

CODE DATA

REVISIONS

PROJECT NUMBER
1624

DATE
XX/XX/XX

DRAWN BY
XX

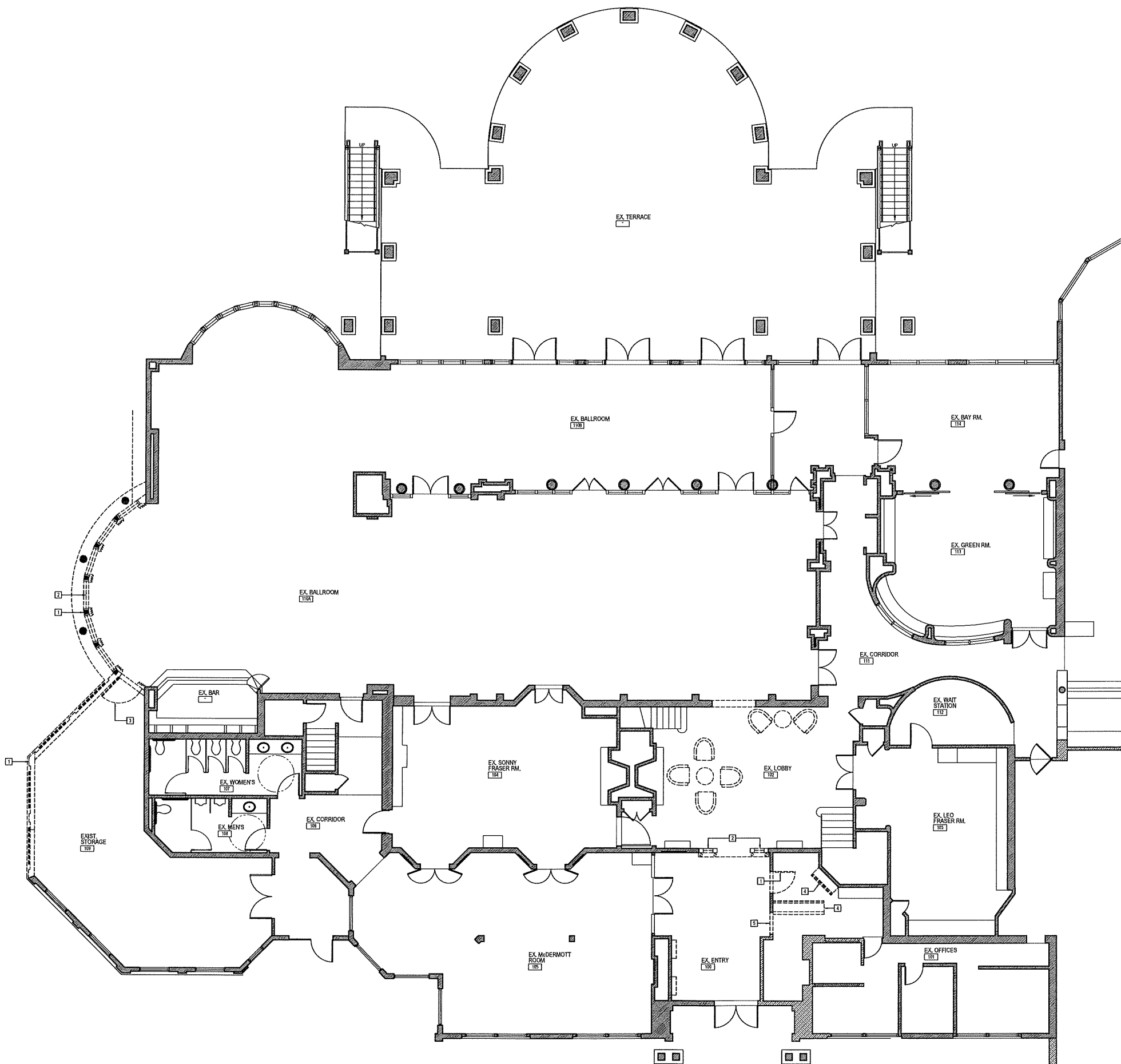
REVIEWED BY
XX

SCALE
NO SCALE

DRAWING NUMBER
G-100

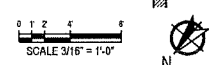
CONTRACTOR TO VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.

07/11/24 - SCHEMATIC DESIGN NOT FOR CONSTRUCTION



- SYMBOLS LEGEND:**
- EXISTING WALL CONSTRUCTION TO REMAIN
 - - - EXISTING TO BE DEMOLISHED
- DEMOLITION SHEET NOTES:**
- *SEE SHEET G-010 FOR GENERAL PROJECT NOTES
1. REMOVE EXISTING EXTERIOR WALL. PROVIDE SHORING AS REQUIRED.
 2. REMOVE EXISTING WINDOWS AS INDICATED.
 3. REMOVE EXISTING DOORS AS INDICATED.
 4. REMOVE EXISTING COAT ROOM MILLWORK.
 5. NEW FINISHING FOR DOOR. COORDINATE WITH DOOR SCHEDULE.
 6. REMOVE EXISTING INTERIOR WALLS AS INDICATED.
 7. REMOVE EXISTING ROOF DECK, GUARDRAILS, ETC.

1 1st FLOOR DEMOLITION PLAN
SCALE: 3/16" = 1'-0"



ATLANTIC CITY COUNTRY CLUB
 BALLROOM ADDITION
 1 LEO FRASER DRIVE
 NORTHFIELD, NJ 08225



DAS ARCHITECTS, INC.
 8 PENN CENTER, SUITE 1000
 PHILADELPHIA, PA 19103
 TEL 215 751 5006
 FAX 215 751 9118
 www.dasarchitects.com

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DRAWING TITLE
 1ST FLOOR DEMOLITION PLAN

REVISIONS

PROJECT NUMBER
 164
 DATE

DRAWN BY
 JERROLD

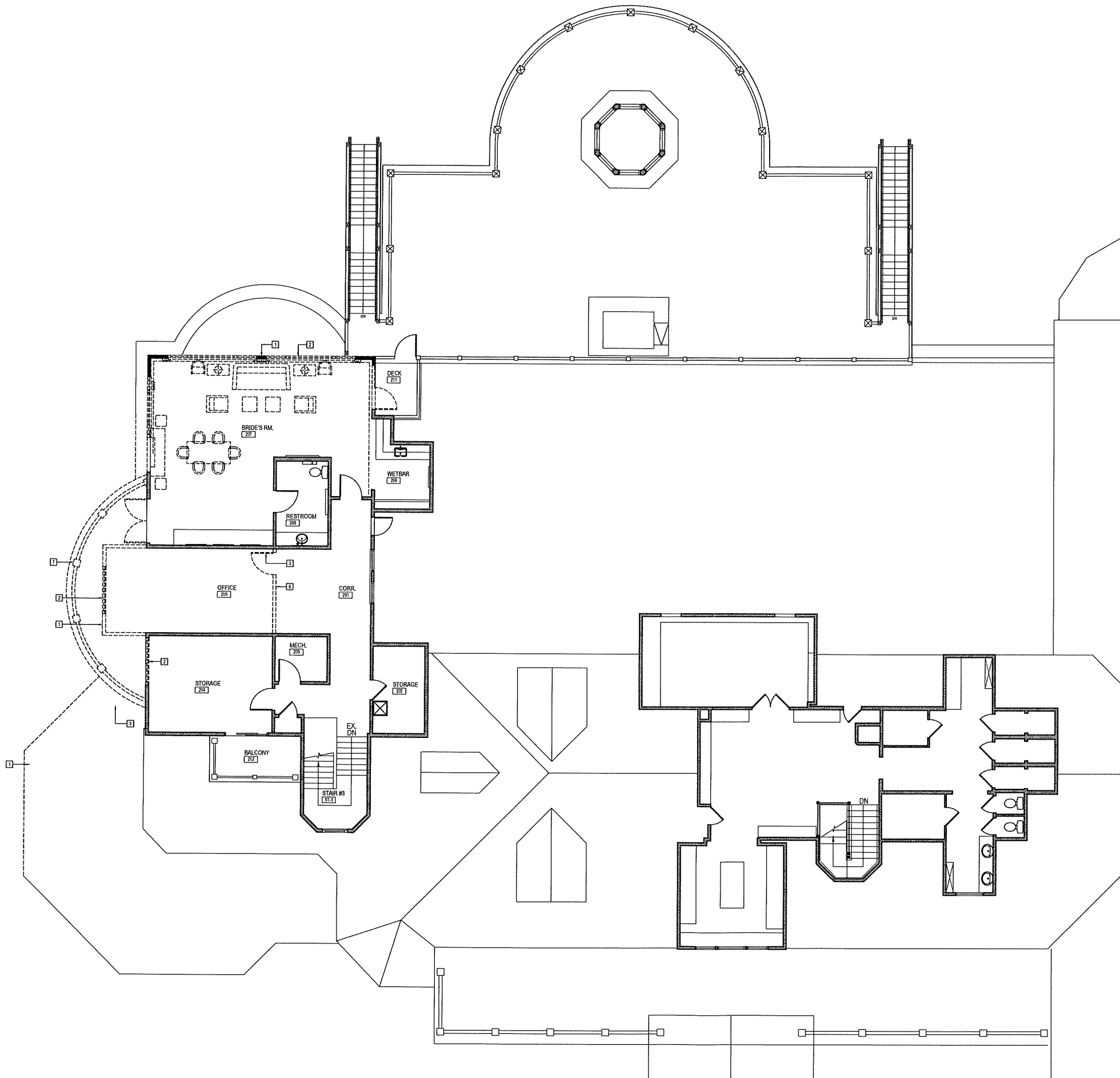
REVIEWED BY

SCALE
 3/16" = 1'-0"

DRAWING NUMBER
 AD-101

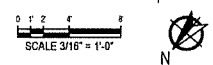
CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND COORDINATING WITH ALL AFFECTED AGENCIES AND THE ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.

07/11/24 - SCHEMATIC DESIGN NOT FOR CONSTRUCTION



- SYMBOLS LEGEND:**
- EXISTING WALL CONSTRUCTION TO REMAIN
 - - - EXISTING TO BE DEMOLISHED
- DEMOLITION SHEET NOTES:**
- *SEE SHEET 0410 FOR GENERAL PROJECT NOTES
1. REMOVE EXISTING EXTERIOR WALL. PROVIDE SHORING AS REQUIRED.
 2. REMOVE EXISTING WINDOWS AS INDICATED.
 3. REMOVE EXISTING DOORS AS INDICATED.
 4. REMOVE EXISTING COAT ROOM MILLWORK.
 5. NEW OPENING FOR DOOR, COORDINATE WITH DOOR SCHEDULE.
 6. REMOVE EXISTING INTERIOR WALLS AS INDICATED.
 7. REMOVE EXISTING ROOF DECK, GUARDRAILS, ETC.

1 2nd FLOOR DEMOLITION PLAN
SCALE: 3/16" = 1'-0"



ATLANTIC CITY COUNTRY CLUB
 BALLROOM ADDITION
 11 LEOPRASER DRIVE
 NORTHFIELD, NJ 08225



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DRAWING TITLE

2nd FLOOR
 DEMOLITION
 PLAN

REVISIONS

NO.	DATE	DESCRIPTION

PROJECT NUMBER

104

DATE

DRAWN BY

JBR/AD

REVIEWED BY

SCALE

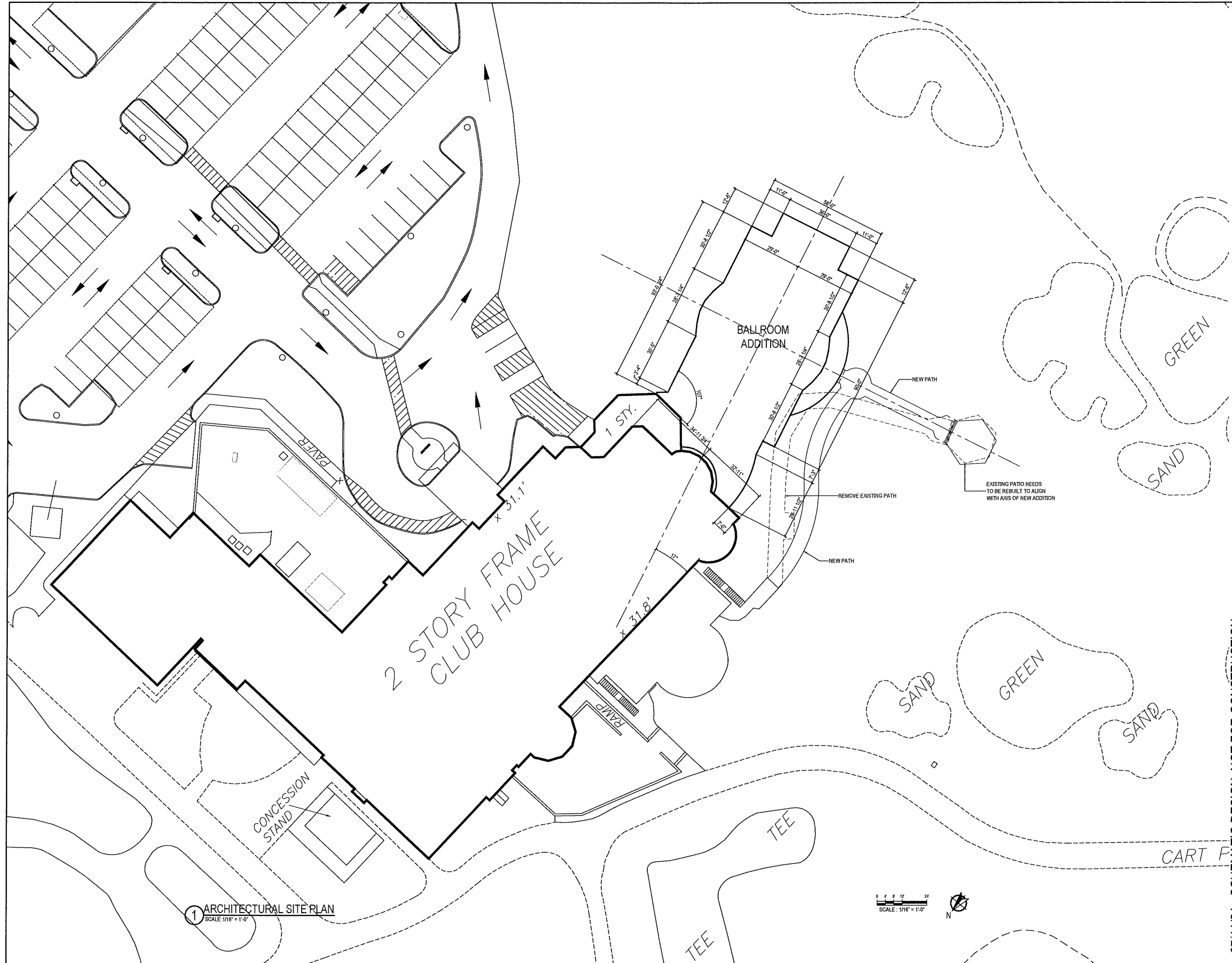
3/16" = 1'-0"

DRAWING NUMBER

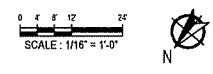
AD-102

CONSTRUCTION SHALL BE RESPONSIBLE FOR VERIFYING ALL CONDITIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.

0711/24 - SCHEMATIC DESIGN, NOT FOR CONSTRUCTION



1 ARCHITECTURAL SITE PLAN
SCALE: 1/16" = 1'-0"



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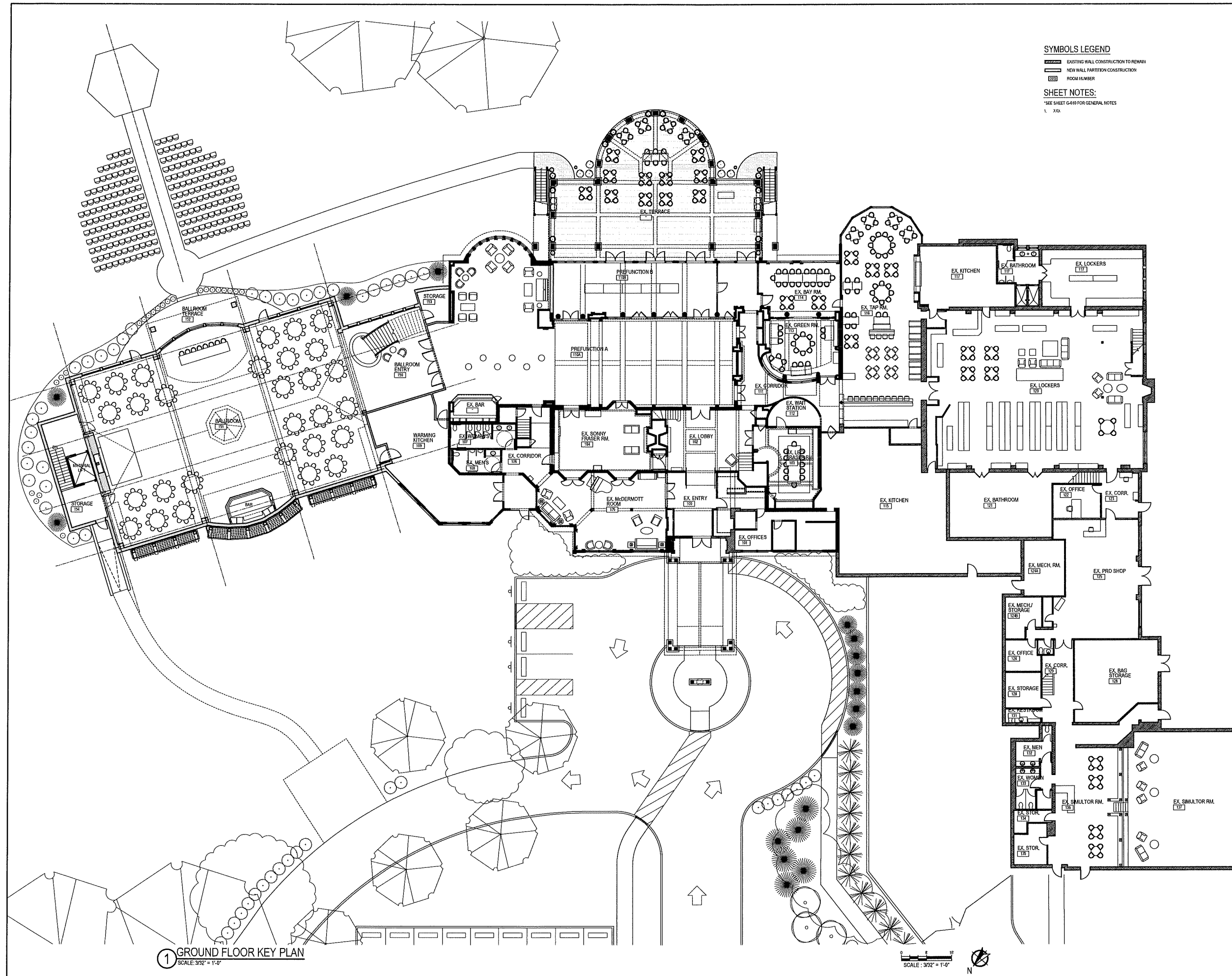
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DRAWING TITLE	ARCHITECTURAL SITE PLAN
REVISIONS	
PROJECT NUMBER	1624
DATE	
DRAWN BY	EG
REVIEWED BY	
SCALE	1/32" = 1'-0"
DRAWING NUMBER	A-001

07/11/24 - SCHEMATIC DESIGN NOT FOR CONSTRUCTION

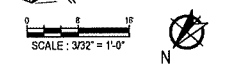
CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE PROGRESS OF THE WORK.



SYMBOLS LEGEND
 - - - - - EXISTING WALL CONSTRUCTION TO REMAIN
 ——— NEW WALL PARTITION CONSTRUCTION
 [] ROOM NUMBER

SHEET NOTES:
 *SEE SHEET G-410 FOR GENERAL NOTES
 1. 25X

1 GROUND FLOOR KEY PLAN
 SCALE: 3/32" = 1'-0"



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DRAWING TITLE
 GROUND FLOOR KEY PLAN

REVISIONS

PROJECT NUMBER
 1621
 DATE

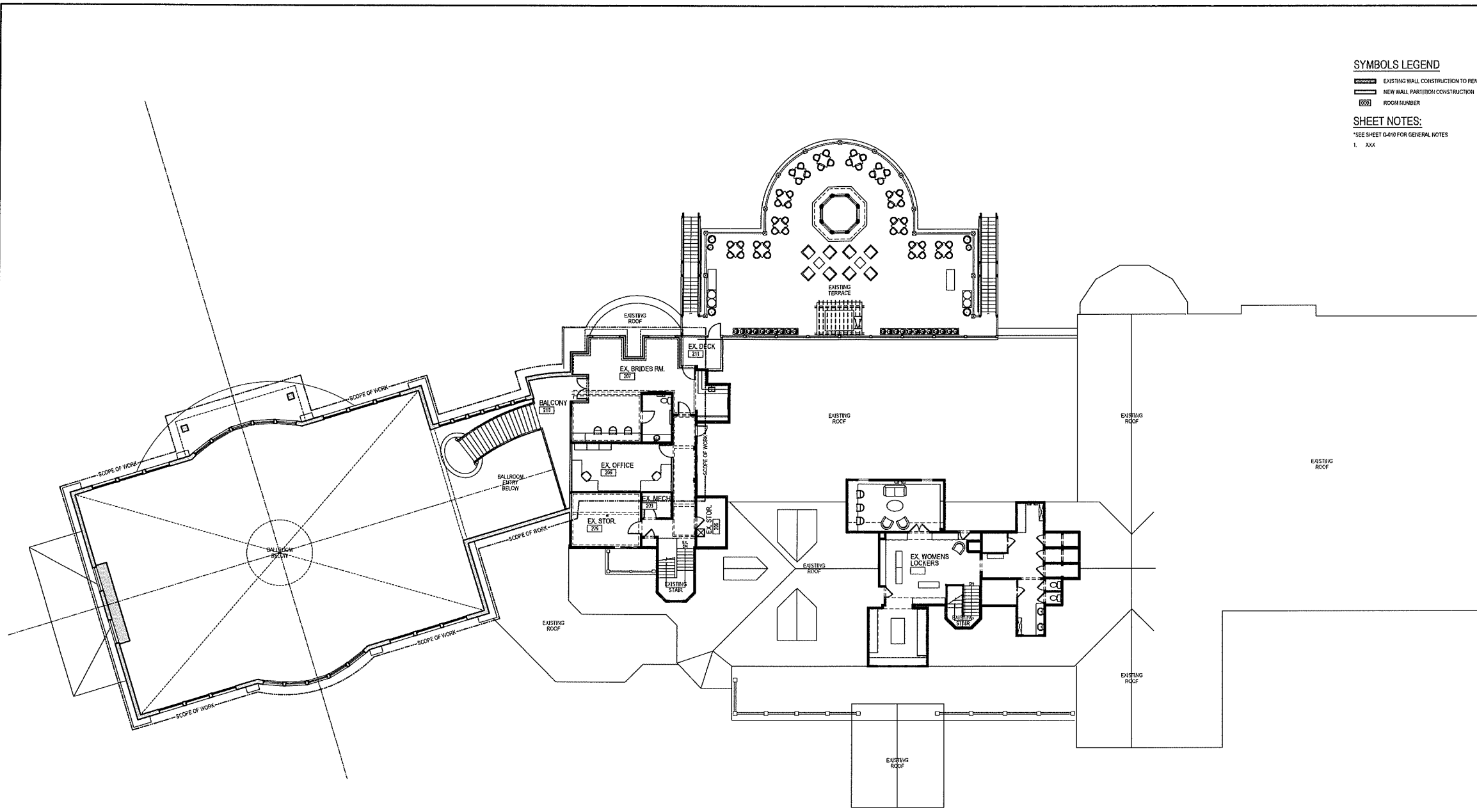
DRAWN BY
 EDL
 REVIEWED BY

SCALE
 3/32" = 1'-0"

DRAWING NUMBER
 A-101

CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS OF ALL WORK BEFORE PROCEEDING WITH THE WORK.

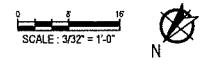
07/11/24 - SCHEMATIC DESIGN NOT FOR CONSTRUCTION



SYMBOLS LEGEND
 [Solid line] EXISTING WALL CONSTRUCTION TO REMAIN
 [Dashed line] NEW WALL PARTITION CONSTRUCTION
 [Number in box] ROOM NUMBER

SHEET NOTES:
 *SEE SHEET G-010 FOR GENERAL NOTES
 1. XXX

1 2nd FLOOR KEY PLAN
 SCALE: 3/32" = 1'-0"



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 BALLROOM ADDITION
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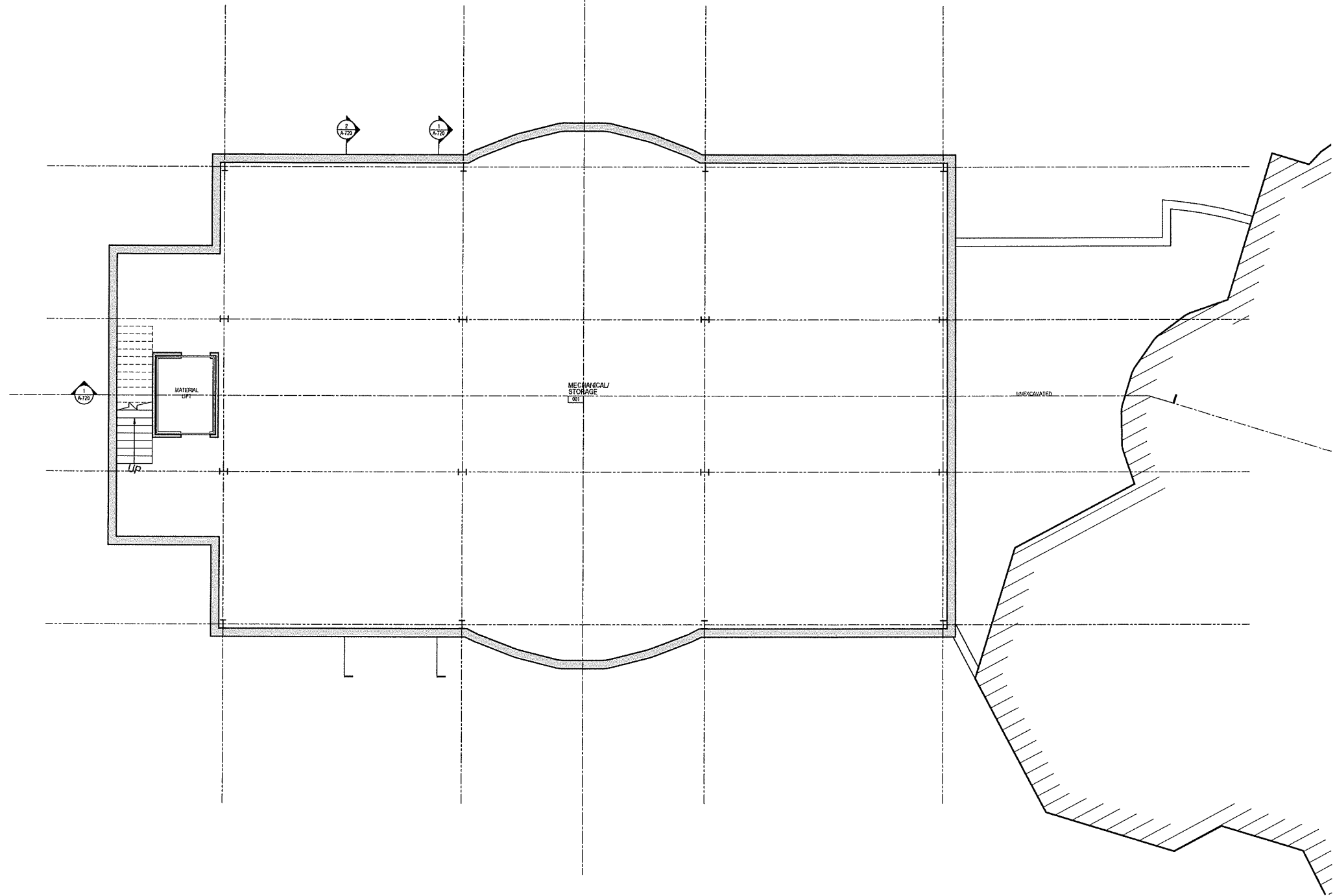
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DRAWING TITLE	2nd FLOOR KEY PLAN
REVISIONS	
PROJECT NUMBER	102
DATE	
DRAWN BY	EDUPA
REVIEWED BY	
SCALE	3/32" = 1'-0"
DRAWING NUMBER	A-102

CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS AND ALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.

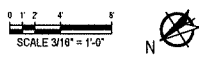
07/11/24 - SCHEMATIC DESIGN - NOT FOR CONSTRUCTION



- SYMBOLS LEGEND**
- EXISTING WALL CONSTRUCTION TO REMAIN
 - NEW WALL PARTITION CONSTRUCTION
 - ROOM NUMBER
 - NEW DOOR, SEE DOOR SCHEDULE
 - EXISTING DOOR TO REMAIN
 - NEW WINDOW, SEE WINDOW SCHEDULE
 - PARTITION KEY SYMBOL, SEE PARTITION SCHEDULE
 - SHEET NOTE
 - MILLWORK NUMBER, SEE MILLWORK SCHEDULE
 - DENOTES MILLWORK

SHEET NOTES:
 *SEE SHEET G-010 FOR GENERAL NOTES
 1. XXX

1 BASEMENT ARCHITECTURAL PLAN
 SCALE: 3/16" = 1'-0"



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DRAWING TITLE
 BASEMENT ARCHITECTURAL PLAN

REVISIONS

PROJECT NUMBER
 1623
 DATE

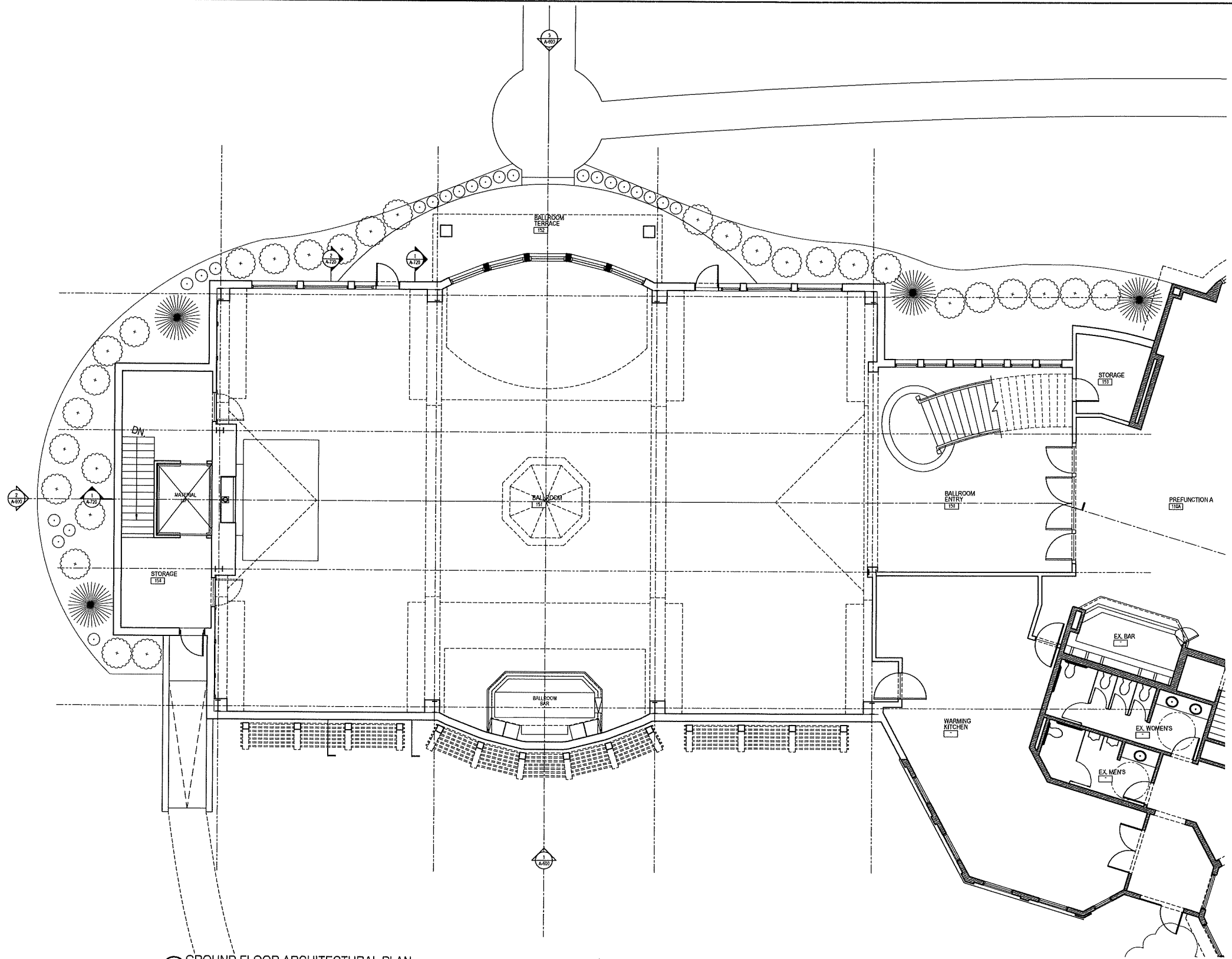
DRAWN BY
 EDUPP
 REVIEWED BY

SCALE
 3/16" = 1'-0"

DRAWING NUMBER
 A-200

07/11/24 - SCHEMATIC DESIGN, NOT FOR CONSTRUCTION

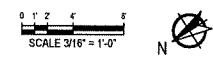
CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH THE WORK. ALL NOTICES SHALL BE IN WRITING AND SHALL BE RECEIVED BY THE ARCHITECT AT LEAST 48 HOURS BEFORE THE WORK IS TO BE PROCEEDING WITH THE WORK.



- SYMBOLS LEGEND**
- EXISTING WALL CONSTRUCTION TO REMAIN
 - NEW WALL PARTITION CONSTRUCTION
 - ROOM NUMBER
 - NEW DOOR, SEE DOOR SCHEDULE
 - EXISTING DOOR TO REMAIN
 - NEW WINDOW, SEE WINDOW SCHEDULE
 - PARTITION KEY / SYMBOL, SEE PARTITION SCHEDULE
 - SHEET NOTE
 - MILLWORK NUMBER, SEE MILLWORK SCHEDULE
 - DENOTES MILLWORK

SHEET NOTES:
 *SEE SHEET G-010 FOR GENERAL NOTES
 1. XXX

1 GROUND FLOOR ARCHITECTURAL PLAN
 SCALE: 3/16" = 1'-0"



ATLANTIC CITY COUNTRY CLUB
 BALLROOM ADDITION
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DRAWING TITLE
 GROUND FLOOR ARCHITECTURAL PLAN - NORTH

REVISIONS

PROJECT NUMBER
 102
 DATE

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 EDUARD

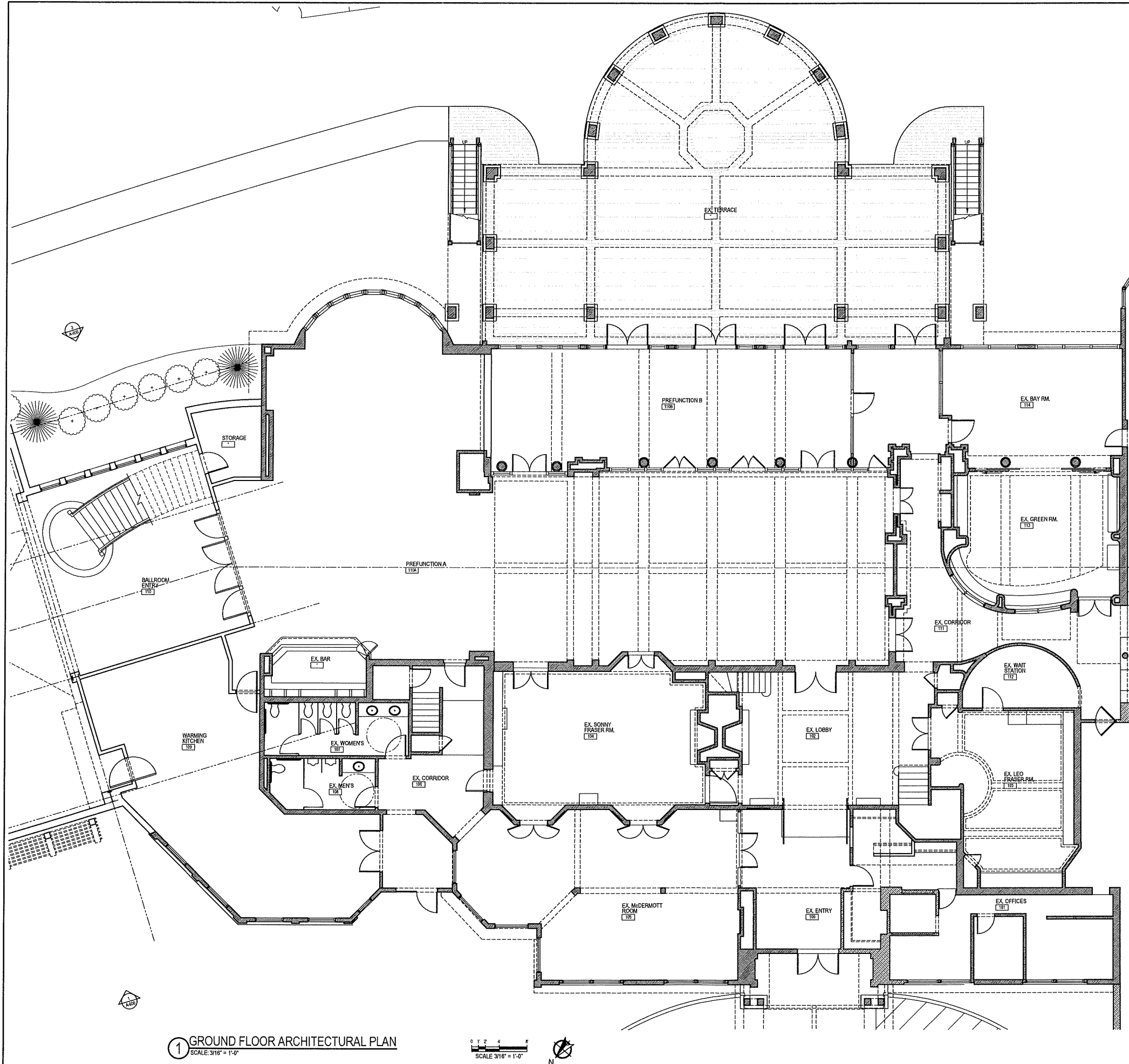
REVIEWED BY

SCALE
 3/16" = 1'-0"

DRAWING NUMBER
 A-201A

07/11/24 - SCHEMATIC DESIGN, NOT FOR CONSTRUCTION

*CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS AND ALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.



SYMBOLS LEGEND

- EXISTING WALL CONSTRUCTION TO REMAIN
- - - NEW WALL PARTITION CONSTRUCTION
- ROOM NUMBER
- NEW DOOR, SEE DOOR SCHEDULE
- EXISTING DOOR TO REMAIN
- NEW WINDOW, SEE WINDOW SCHEDULE
- PARTITION KEY SYMBOL, SEE PARTITION SCHEDULE
- SHEET NOTE
- MILLWORK NUMBER, SEE MILLWORK SCHEDULE
- DENOTES MILLWORK

SHEET NOTES:
 *SEE SHEET G-10 FOR GENERAL NOTES
 1. XXX

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DRAWING TITLE
 GROUND FLOOR ARCHITECTURAL PLAN SOUTH

REVISIONS

NO.	DESCRIPTION

PROJECT NUMBER
 1624

DATE
 04/18/24

DRAWN BY
 EDUARD

REVIEWED BY

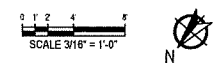
SCALE
 3/16" = 1'-0"

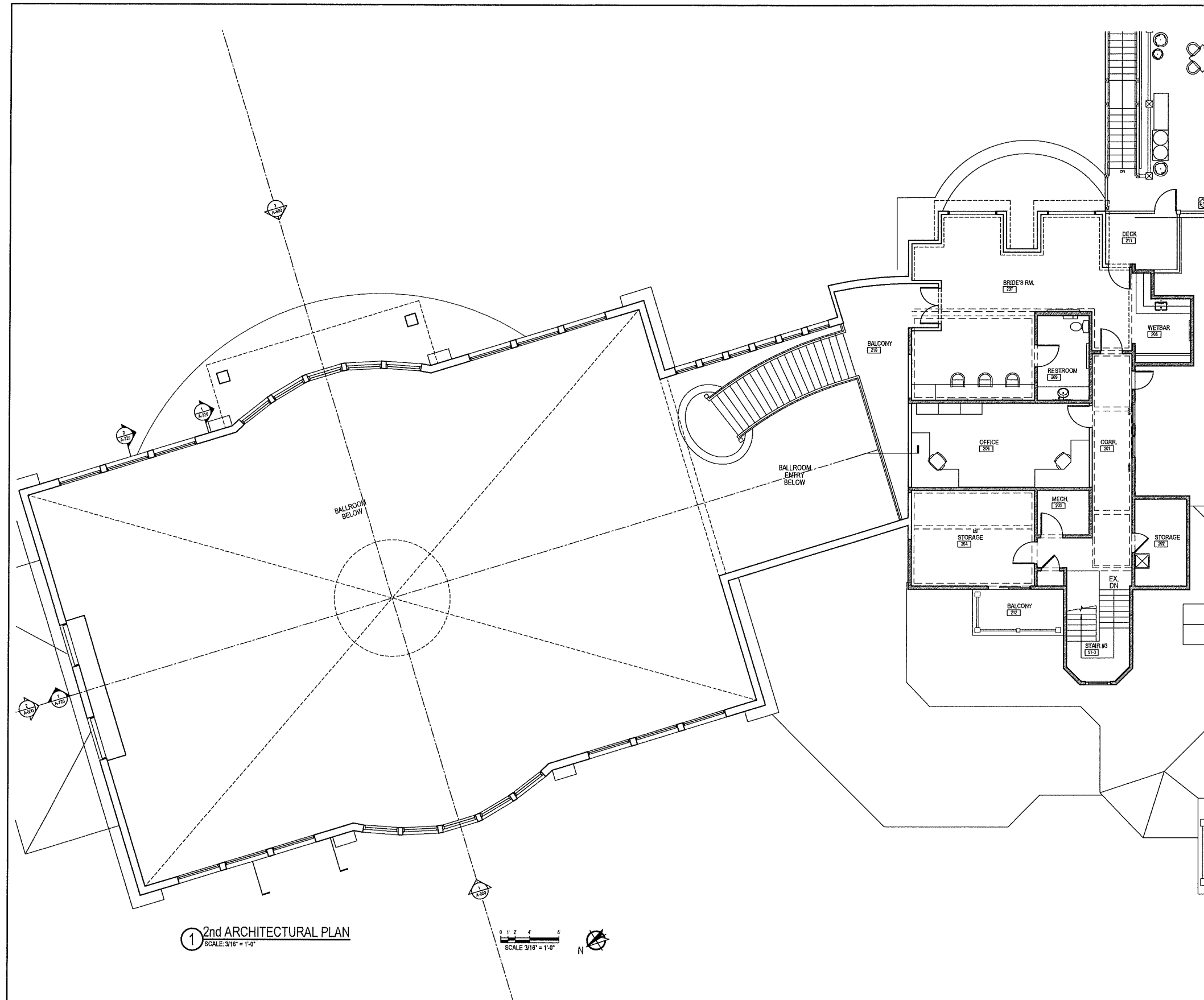
DRAWING NUMBER
 A-201B

CONSTRUCTION SHALL VERIFY AND BE RESPONSIBLE FOR ALL UNDERGROUND CONDITIONS AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.

07/11/24 - SCHEMATIC DESIGN NOT FOR CONSTRUCTION

1 GROUND FLOOR ARCHITECTURAL PLAN
 SCALE: 3/16" = 1'-0"

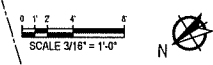




- SYMBOLS LEGEND**
- EXISTING WALL CONSTRUCTION TO REMAIN
 - NEW WALL PARTITION CONSTRUCTION
 - ROOM NUMBER
 - NEW DOOR, SEE DOOR SCHEDULE
 - EXISTING DOOR TO REMAIN
 - NEW WINDOW, SEE WINDOW SCHEDULE
 - PARTITION KEY SYMBOL, SEE PARTITION SCHEDULE
 - SHEET NOTE
 - MILLWORK NUMBER, SEE MILLWORK SCHEDULE
 - DENOTES MILLWORK

SHEET NOTES:
 *SEE SHEET 040 FOR GENERAL NOTES
 1. XXX

1 2nd ARCHITECTURAL PLAN
 SCALE: 3/16" = 1'-0"



ATLANTIC CITY COUNTRY CLUB
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DRAWING TITLE
 2nd FLOOR
 ARCHITECTURAL
 PLAN

REVISIONS

PROJECT NUMBER
 1623
 DATE

DRAWN BY
 EDJ/SR

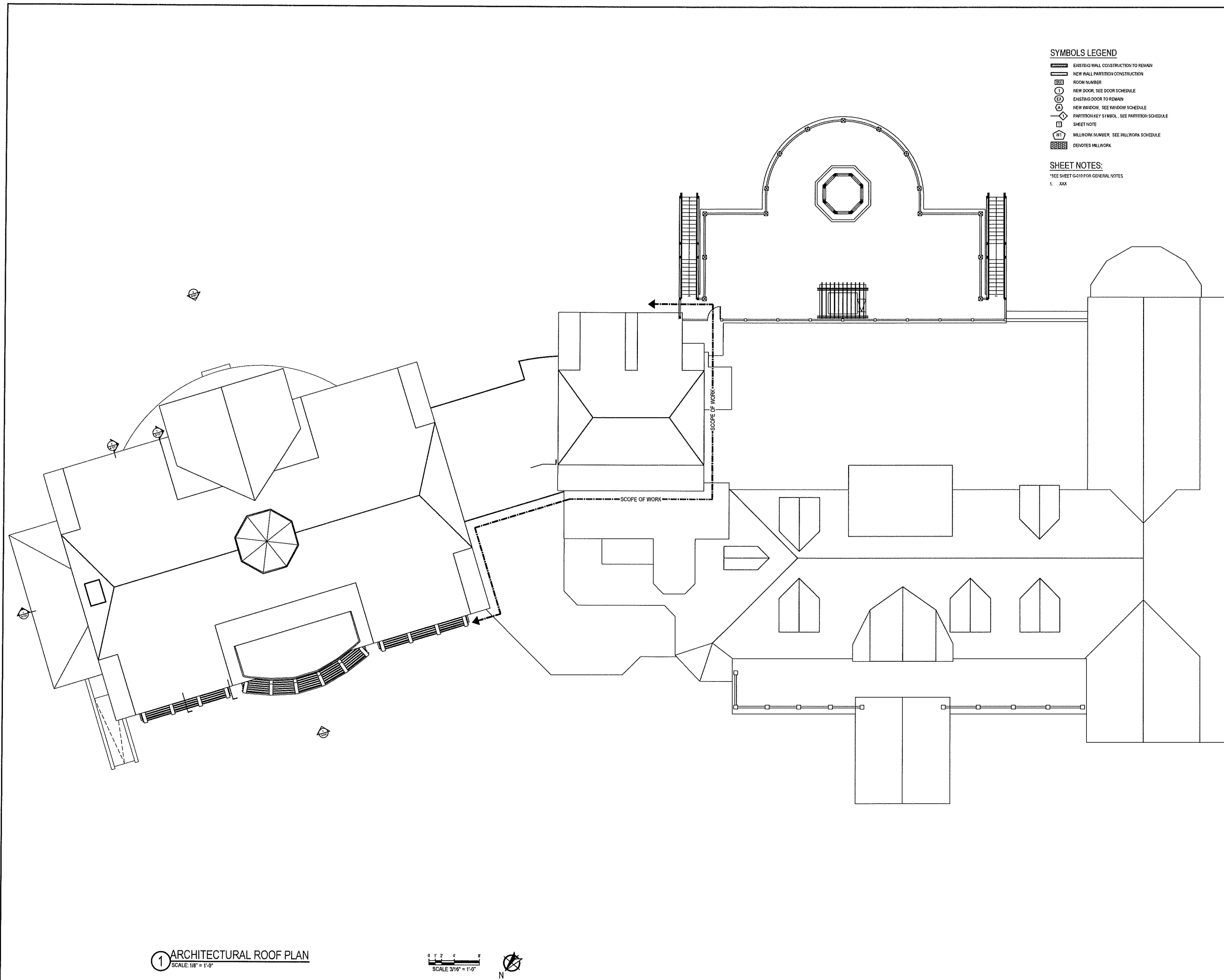
REVIEWED BY

SCALE
 3/16" = 1'-0"

DRAWING NUMBER
 A-202

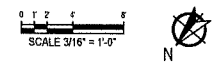
CONSTRUCTION THE ARCHITECT AND/OR ARCHITECTURAL FIRM SHALL BE RESPONSIBLE FOR ALL CONDITIONS AND ALL NOTICES THE ARCHITECT OR ANY ENGINEER'S REPORT PROCEEDING WITH THE WORK.

07/11/24 - SCHEMATIC DESIGN NOT FOR CONSTRUCTION



- SYMBOLS LEGEND**
- EXISTING WALL CONSTRUCTION TO REMAIN
 - NEW WALL PARTITION CONSTRUCTION
 - ROOM NUMBER
 - NEW DOOR, SEE DOOR SCHEDULE
 - EXISTING DOOR TO REMAIN
 - NEW WINDOW, SEE WINDOW SCHEDULE
 - PARTITION KEY SYMBOL, SEE PARTITION SCHEDULE
 - SHEET NOTE
 - MILLWORK NUMBER, SEE MILLWORK SCHEDULE
 - DENOTES MILLWORK
- SHEET NOTES:**
- *SEE SHEET G-010 FOR GENERAL NOTES
 - 1. XXX

1 ARCHITECTURAL ROOF PLAN
SCALE: 3/16" = 1'-0"



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DRAWING TITLE

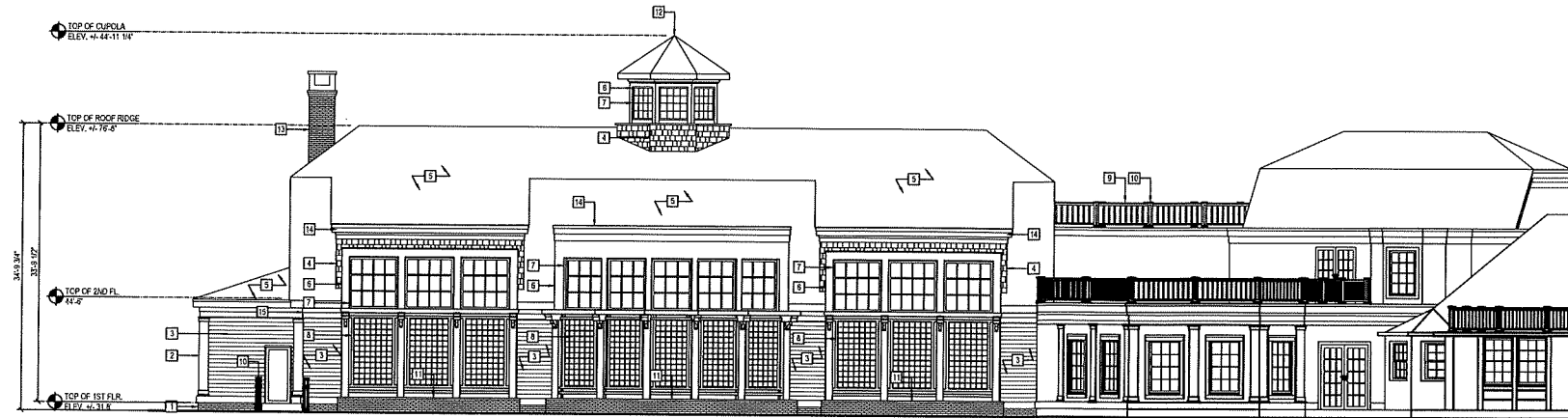
ARCHITECTURAL
ROOF PLAN

REVISIONS

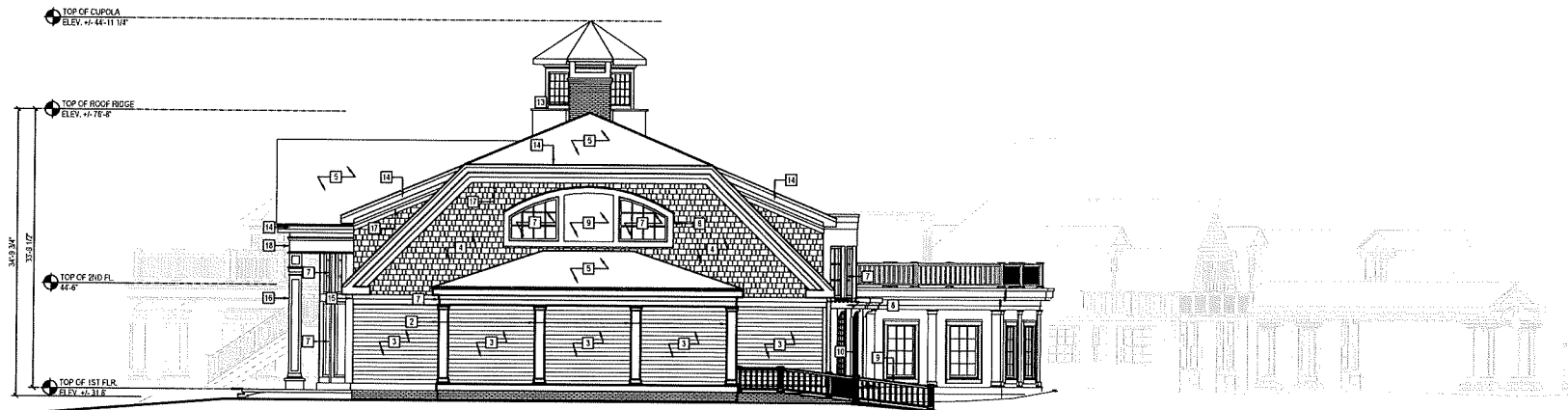
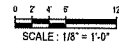
PROJECT NUMBER	1623
DATE	
DRAWN BY	ED
REVIEWED BY	
SCALE	3/16" = 1'-0"
DRAWING NUMBER	A-203

07/11/24 - SCHEMATIC DESIGN NOT FOR CONSTRUCTION

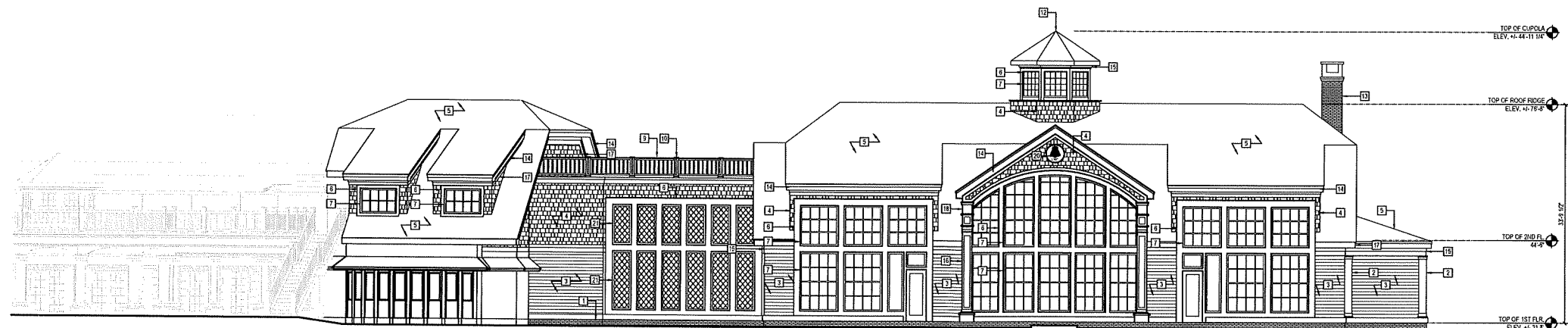
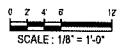
CONSTRUCTION SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. CONDITIONS SHALL VERIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.



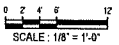
1 KEY ELEVATION - LOOKING SOUTH EAST
SCALE: 1/8" = 1'-0"



2 KEY ELEVATION - LOOKING SOUTH WEST
SCALE: 1/8" = 1'-0"



3 KEY ELEVATION - LOOKING NORTH EAST
SCALE: 1/8" = 1'-0"



ELEVATION SHEET NOTES:

1. BRICK WATER TABLE WITH DECORATIVE TRIM BAND.
2. DECORATIVE PVC COLUMNS.
3. FIBER CEMENT HORIZONTAL CLASBOARD SIDING.
4. FIBER CEMENT SHAKE EXTERIOR SIDING.
5. ARCHITECTURAL ASPHALT ROOF SHINGLES TO MATCH EXISTING.
6. PVC WINDOW TRIM.
7. CLAD WINDOWS W/ EMULATED DIVIDED LITES.
8. WAGONRY PERGOLA WITH BUILT IN TRELIS PANELS.
9. COMPOSITE RAILING SYSTEM.
10. COMPOSITE RAILING POSTS WITH DECORATIVE CAP.
11. BRICK PLASTER BEDS AND TRELIS PANEL SYSTEM.
12. STANDING SEAM METAL ROOF AT CUPOLA.
13. BRICK CHIMNEY WITH DECORATIVE CAP.
14. PVC TRIM AT ROOF EAVES & FASCIA.
15. VENTED PVC SHIFTS, TYPICAL.
16. PVC CLAD COLUMNS.
17. PVC TRIM BAND BENEATH EAVES & FASCIA.
18. EXTERIOR TO BE CLAD BY PVC.
19. DECORATIVE INSET PVC PANEL.
20. WALL MOUNTED SIGNAGE.
21. VINYL CLAD WINDOWS DIVIDED WITH DECORATIVE DIAMOND GRILLE PATTERN.

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 BALLROOM ADDITION
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DRAWING TITLE

KEY EXTERIOR ELEVATIONS

REVISIONS

PROJECT NUMBER

104

DATE

DRAWN BY

EDUPA

REVIEWED BY

X1

SCALE

1/8" = 1'-0"

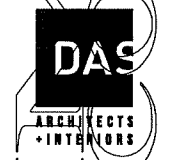
DRAWING NUMBER

A-600

CONTRACTOR TO VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND ALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.

07/11/24 - SCHEMATIC DESIGN NOT FOR CONSTRUCTION

ATLANTIC CITY COUNTRY CLUB
BALLROOM ADDITION



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DRAWING TITLE
BUILDING SECTIONS

REVISIONS

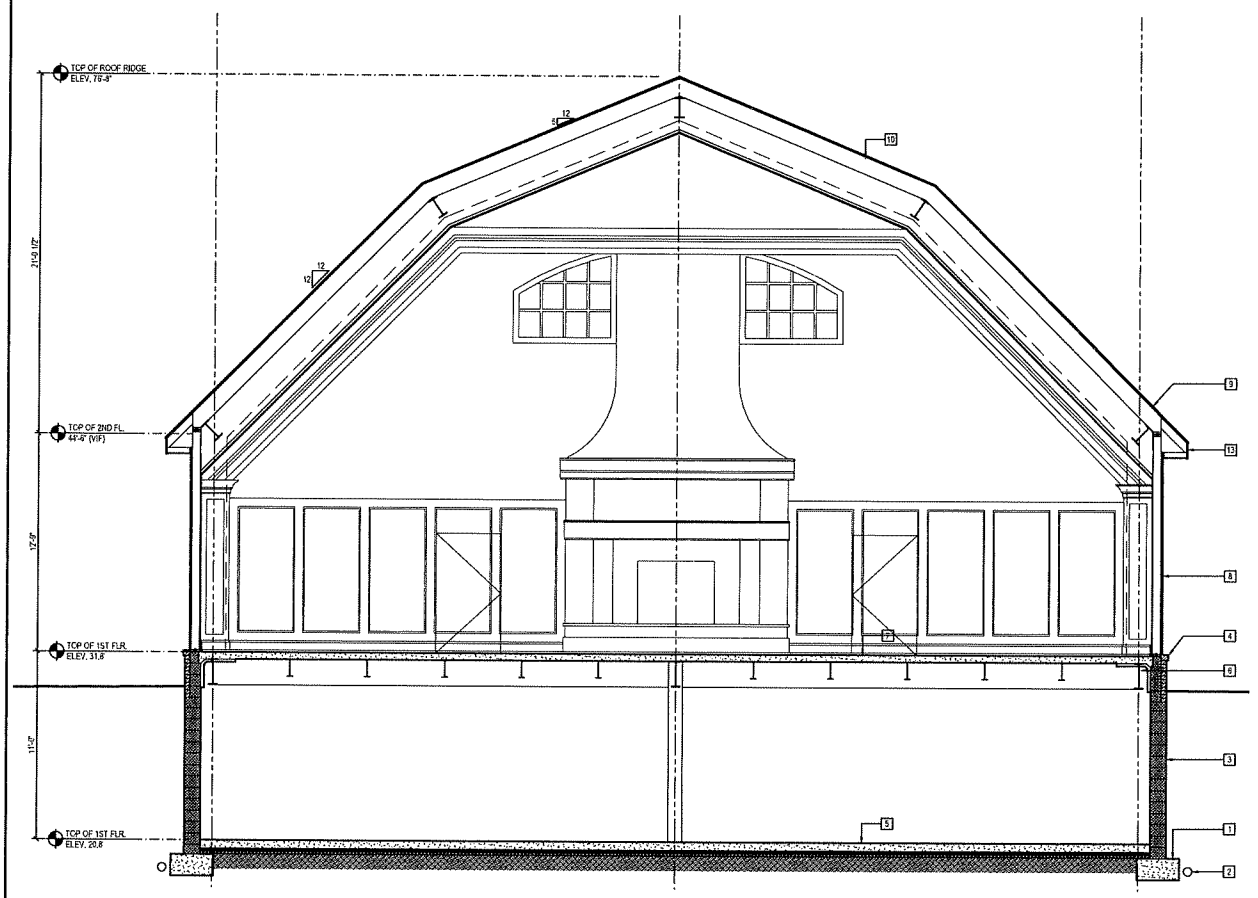
PROJECT NUMBER
1045
DATE

DRAWN BY
JBR/GO
REVIEWED BY

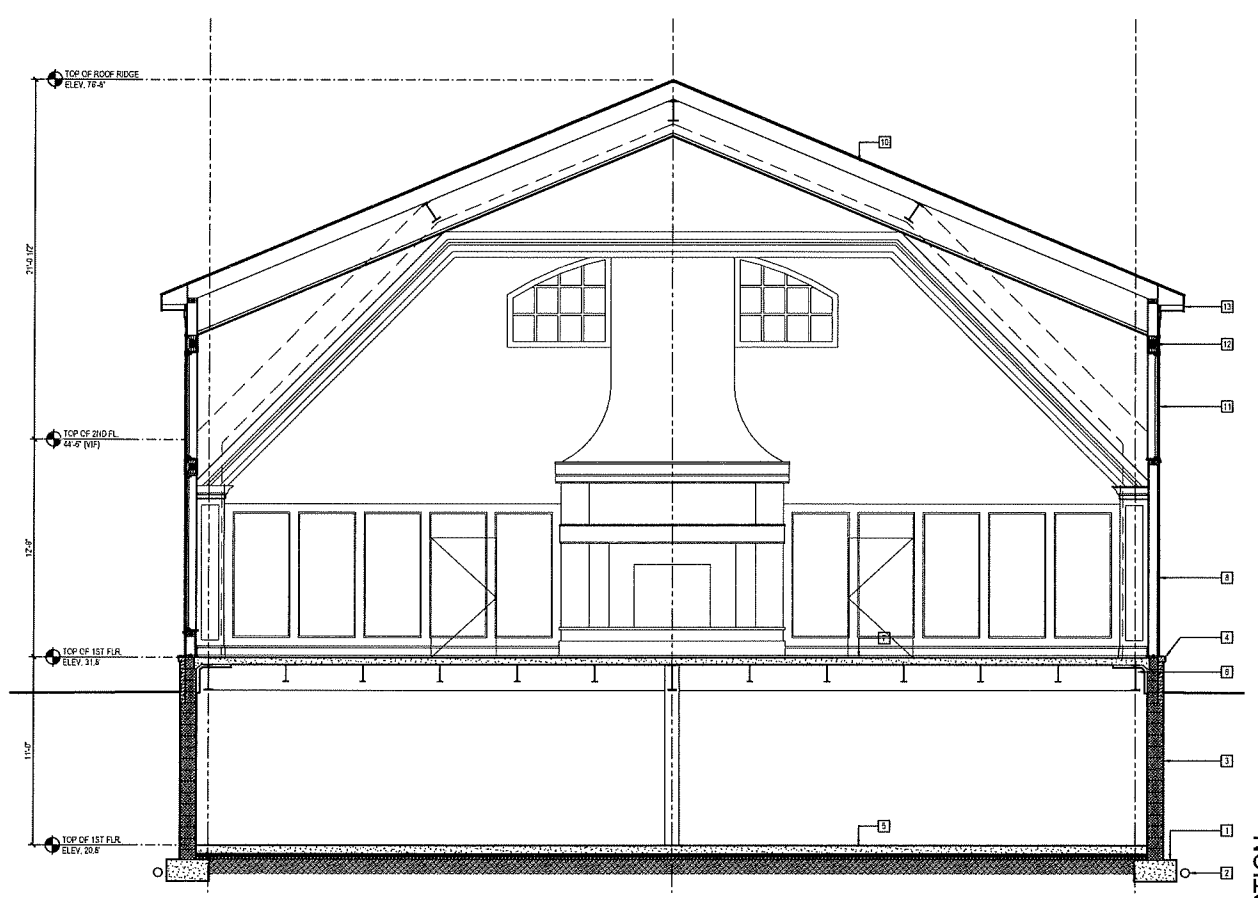
SCALE
1/4" = 1'-0"

DRAWING NUMBER
A-720

07/11/24 - SCHEMATIC DESIGN NOT FOR CONSTRUCTION



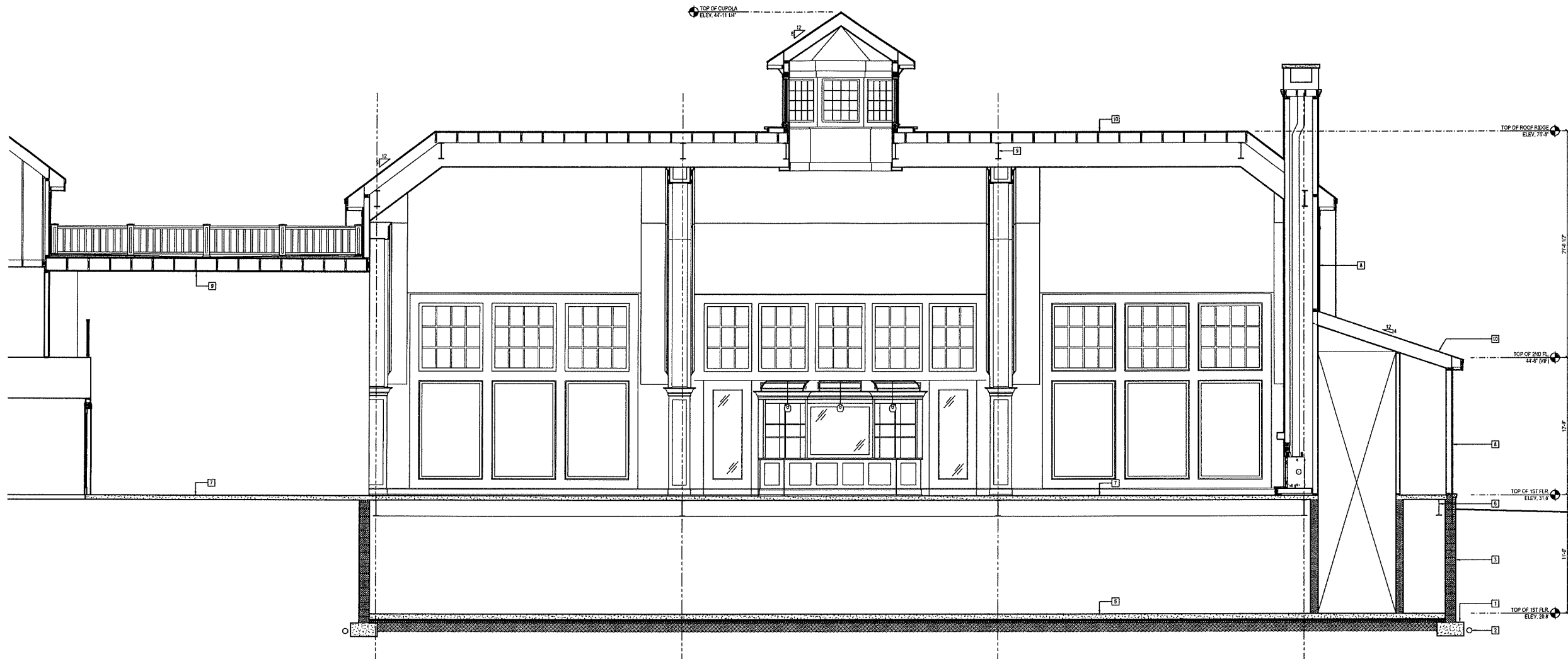
1 SECTION A-A
SCALE: 1/4" = 1'-0"



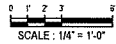
2 SECTION B-B
SCALE: 1/4" = 1'-0"

SECTION SHEET NOTES:

1. CONCRETE FOOTING AS PER STRUCTURAL DRAWINGS.
2. 6" PERFORATED DRAIN; SEE CIVIL DRAWINGS FOR CONNECTION.
3. 12" CMU WALL AS PER STRUCT. DWGS.
4. BRICK WATER TABLE OVER # 2x4.
5. CONCRETE SLAB PER STRUCT. DWGS. OVER 10 MIL VAPOR BARRIER OVER 6" GRAVEL.
6. STEEL STRUCTURE AS PER STRUCT. DWGS.
7. CONCRETE SLAB ON METAL DECKING AS PER STRUCT. DWGS.
8. NON-BEARING EXTERIOR WALL 2"x4" STUDS AT 16" O.C. W/ EXTERIOR CLADDING OVER W/8 OVER 5/8" CDX PLYWOOD.
9. STEEL FRAMING WITH 2"x4" WOOD BRILL AT ROOF FRAMING PER STRUCT. DWGS.
10. ROOFING OVER BUILDING PAPER OVER 5/8" CDX PLYWOOD SHEATHING.
11. WINDOW LOCATION; SEE WINDOW SCHEDULE.
12. HEADER AS PER STRUCTURAL DRAWINGS.
13. PVC TRIM, FASCIA, AND VENTED SOFFITS TYPICAL.



1 LONG SECTION C-C
SCALE: 1/4" = 1'-0"



- SECTION SHEET NOTES:**
1. CONCRETE FOOTING AS PER STRUCTURAL DRAWINGS.
 2. 6" PERFORATED DRAIN, SEE CIVIL DRAWINGS FOR CONNECTION.
 3. 12" CMU WALL AS PER STRUCT. DWGS.
 4. SICK WATER TABLE OVER 4" CMU.
 5. CONCRETE SLAB PER STRUCT. DWGS. OVER 10 MIL VAPOR BARRIER OVER 6" GRAVEL.
 6. STEEL STRUCTURE AS PER STRUCT. DWGS.
 7. CONCRETE SLAB ON METAL DECKING AS PER STRUCT. DWGS.
 8. NON-BEARING EXTERIOR WALL, 2"x4" STUDS AT 16" O.C. W/ EXTERIOR CLADDING OVER WRB OVER 5/8" CDX PLYWOOD.
 9. STEEL FRAMING WITH 2"x4" WOOD INFILL AT ROOF FRAMING PER STRUCT. DWGS.
 10. ROOFING OVER BUILDING PAPER OVER 5/8" CDX PLYWOOD SHEATHING.
 11. WINDOW LOCATION, SEE WINDOW SCHEDULE.
 12. HEADER AS PER STRUCTURAL DRAWINGS.
 13. PVC TRIM, FASCIA'S, AND VENTED SOFFITS TYPICAL.

ATLANTIC CITY COUNTRY CLUB
 BALLROOM ADDITION
 11 LEOPRASER DRIVE
 NORTHFIELD, NJ 08225

DAS
 ARCHITECTS
 + INTERIORS

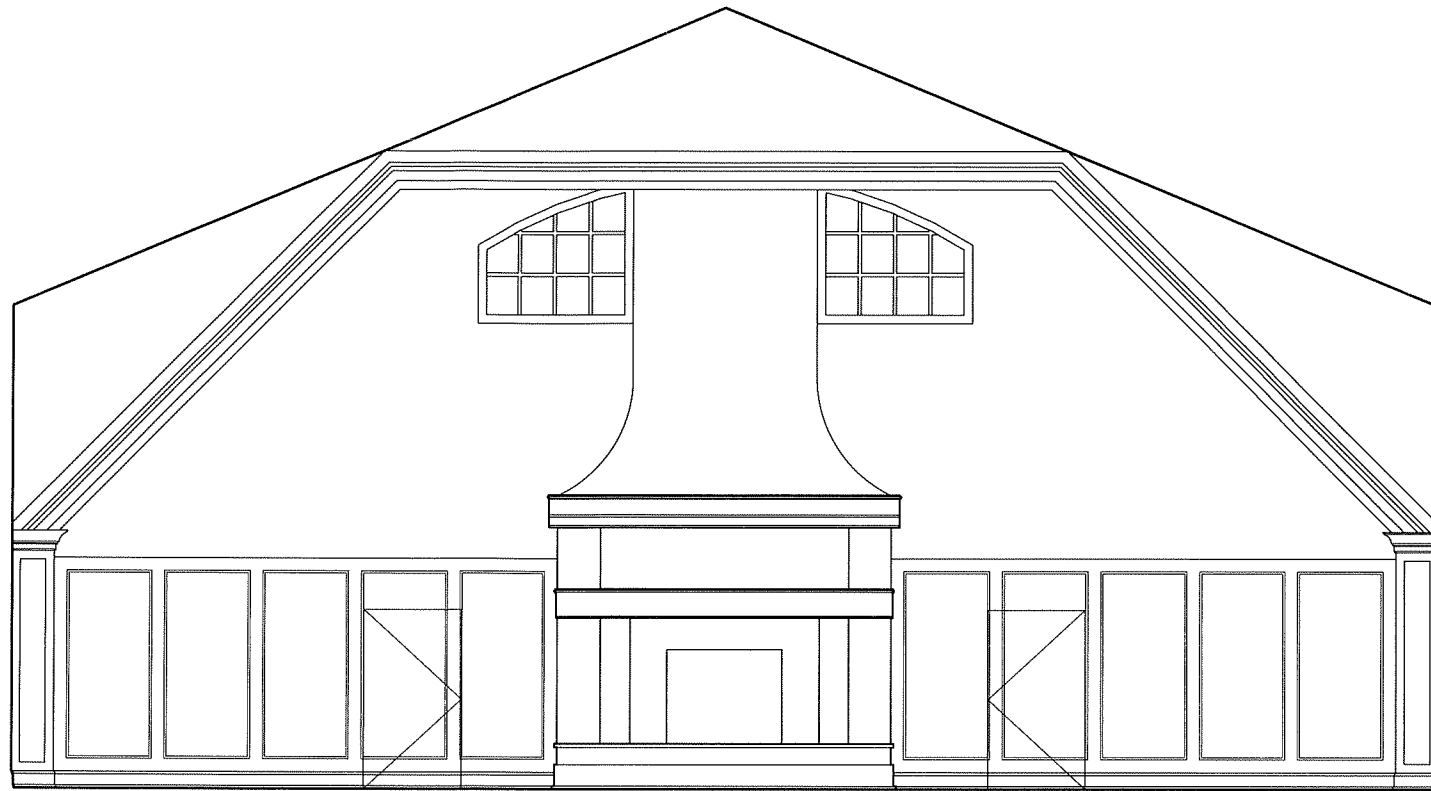
DAS ARCHITECTS, INC.
 8 PENN CENTER, SUITE 1300
 PHILADELPHIA, PA 19103
 TEL: 215-751-0008
 FAX: 215-751-9118
 www.dasarchitects.com

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DRAWING TITLE	BUILDING LONG SECTIONS
REVISIONS	
PROJECT NUMBER	104
DATE	
DRAWN BY	EDL/RS
REVIEWED BY	
SCALE	1/4" = 1'-0"
DRAWING NUMBER	A-721

07/11/24 - SCHEMATIC DESIGN, NOT FOR CONSTRUCTION

CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.



1 BALLROOM FIREPLACE ELEVATION
SCALE: 3/8" = 1'-0"



2 BALLROOM STAIR ELEVATION
SCALE: 3/8" = 1'-0"

ATLANTIC CITY COUNTRY CLUB
 BALLROOM ADDITION
 11 LEONARD DRIVE
 NORTHFIELD, NJ 08725



DAS ARCHITECTS, INC.
 8 PENN CENTER SUITE 1100
 PHILADELPHIA, PA 19103
 TEL: 215.751.9008
 FAX: 215.751.9118
 www.dasarch.com

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DRAWING TITLE	
INTERIOR ELEVATIONS	
REVISIONS	
PROJECT NUMBER	1024
DATE	
DRAWN BY	KSPAS
REVIEWED BY	
SCALE	3/8" = 1'-0"
DRAWING NUMBER	A-810
<small> CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR THE ACCURACY OF ALL COORDINATES AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK. </small>	

07/11/24 - SCHEMATIC DESIGN NOT FOR CONSTRUCTION



1 BALLROOM BAR ELEVATION
SCALE: 3/8" = 1'-0"

ATLANTIC CITY COUNTRY CLUB
BALLROOM ADDITION
1 LEOPRASER DRIVE
NORTHFIELD, NJ 08925



DAS ARCHITECTS, INC.
8 PENN CENTER SUITE 1100
PHILADELPHIA, PA 19103
TEL: 215.751.9008
FAX: 215.751.9118
WWW.DASARCHITECTS.COM

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DRAWING TITLE

INTERIOR
ELEVATIONS

REVISIONS

PROJECT NUMBER

1624

DATE

DRAWN BY

K.S.P.

REVIEWED BY

SCALE

3/8" = 1'-0"

DRAWING NUMBER

A-811

CONSTRUCTION OF THIS SET OF ARCHITECTURAL DRAWINGS IS THE RESPONSIBILITY OF THE ARCHITECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL INFORMATION PROVIDED TO THE ARCHITECT BY THE CLIENT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL INFORMATION PROVIDED TO THE ARCHITECT BY THE CLIENT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL INFORMATION PROVIDED TO THE ARCHITECT BY THE CLIENT.

07/11/24 - SCHEMATIC DESIGN NOT FOR CONSTRUCTION



ATLANTIC CITY COUNTRY CLUB
SCHEMATIC DESIGN
07/11/2024



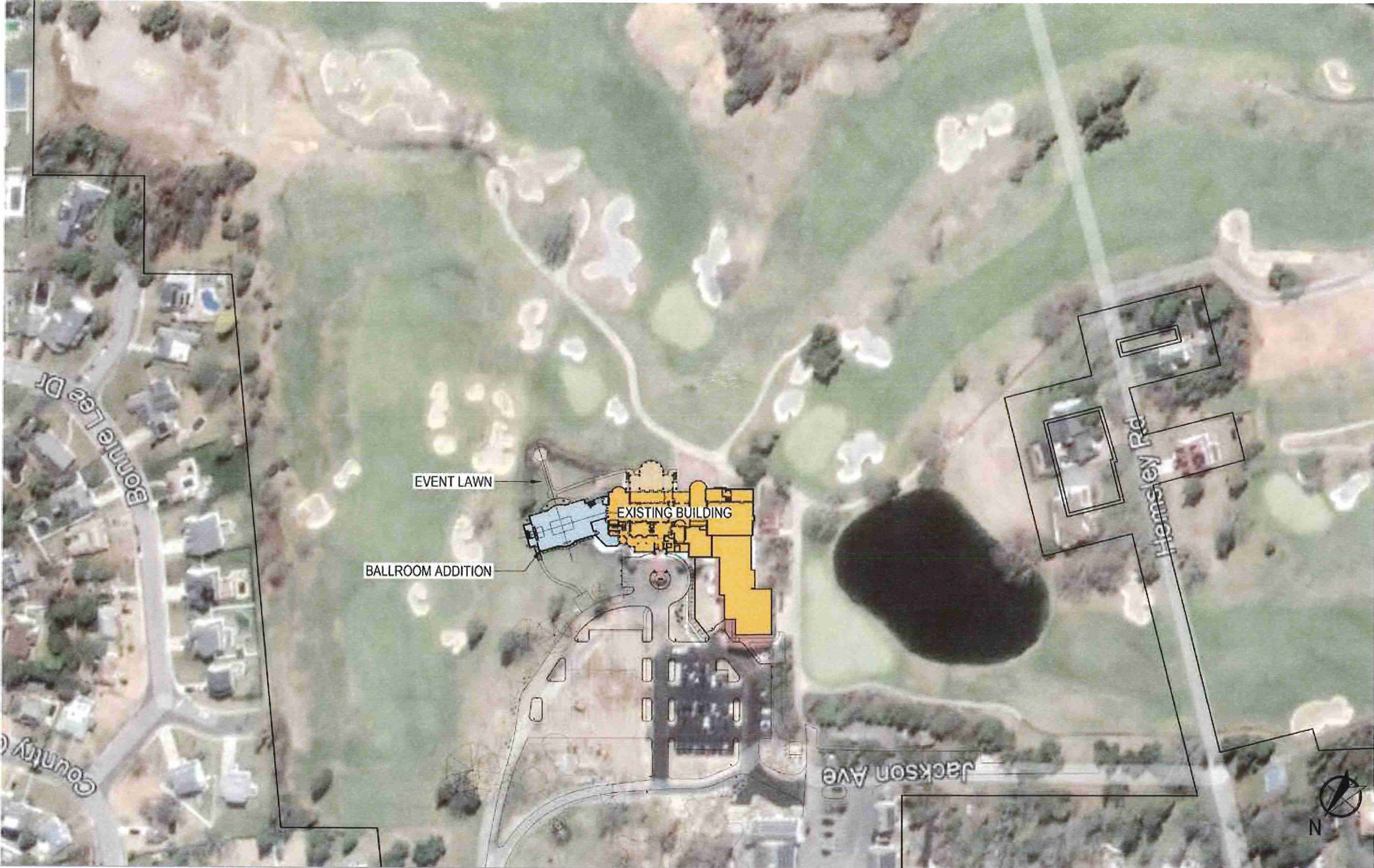
SITE MAP



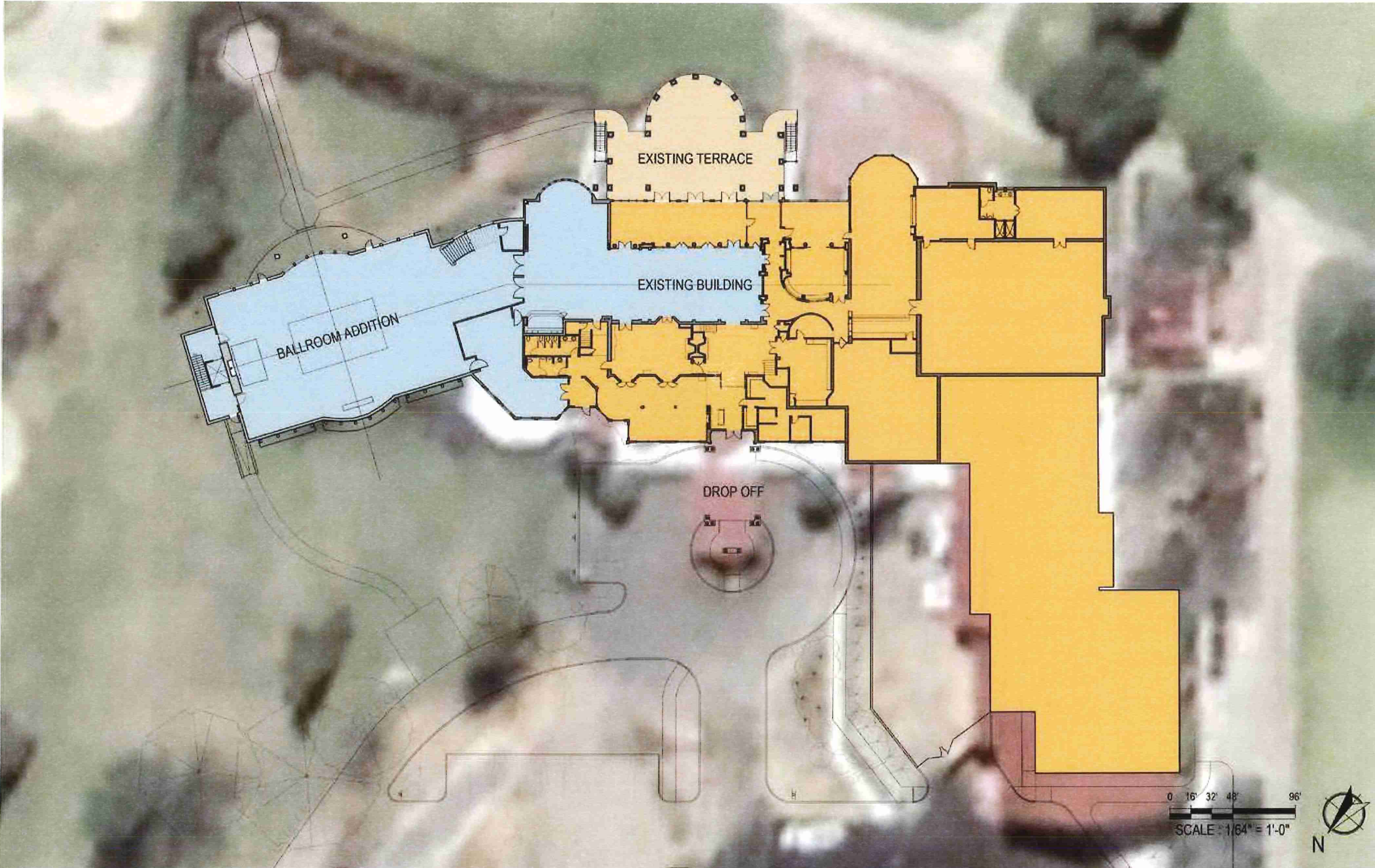
ATLANTIC CITY COUNTRY CLUB



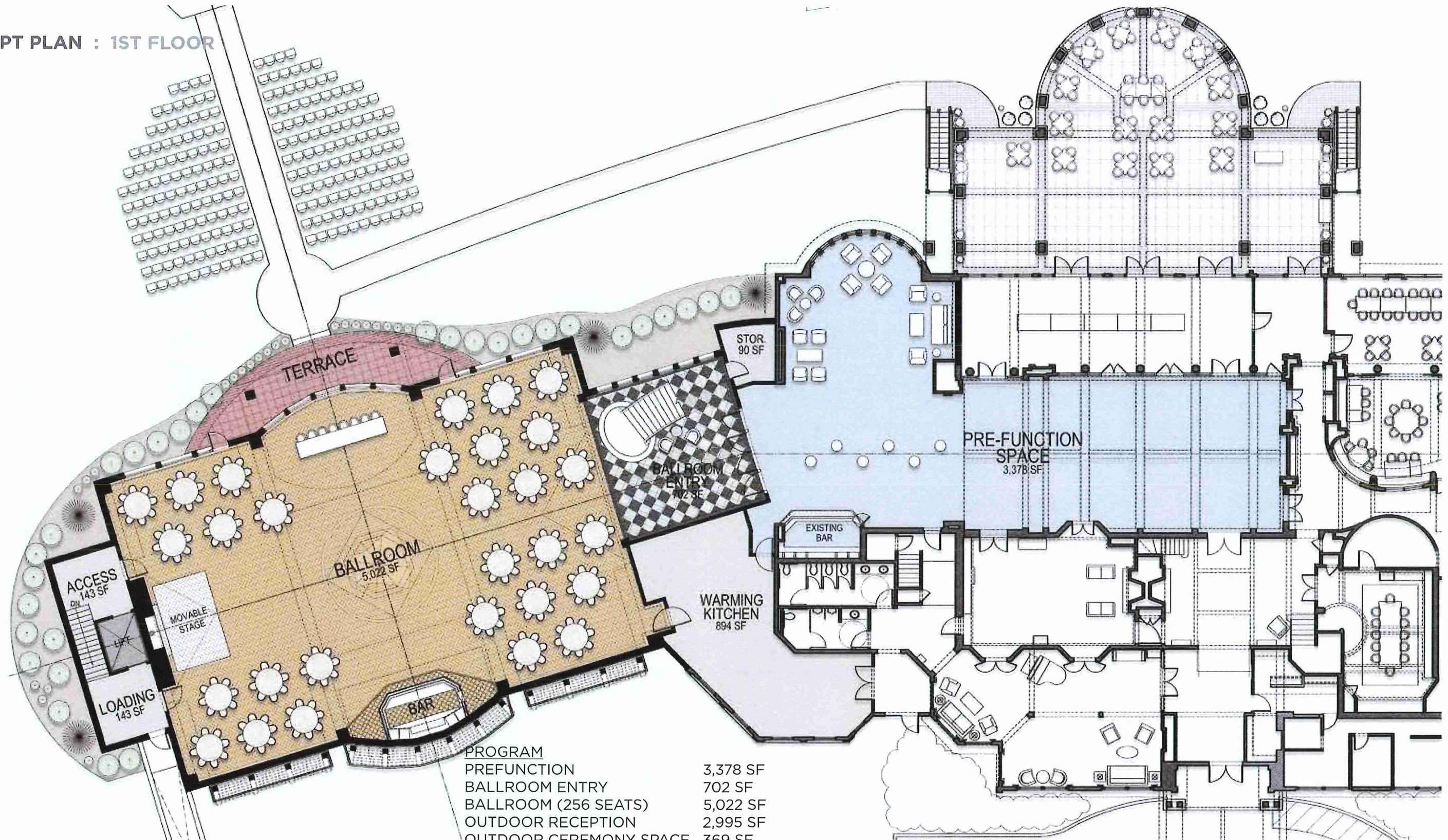
SITE CONTEXT :



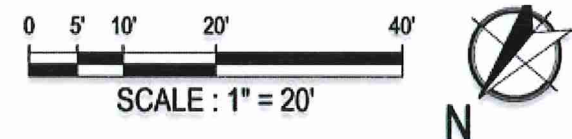
SITE PLAN :



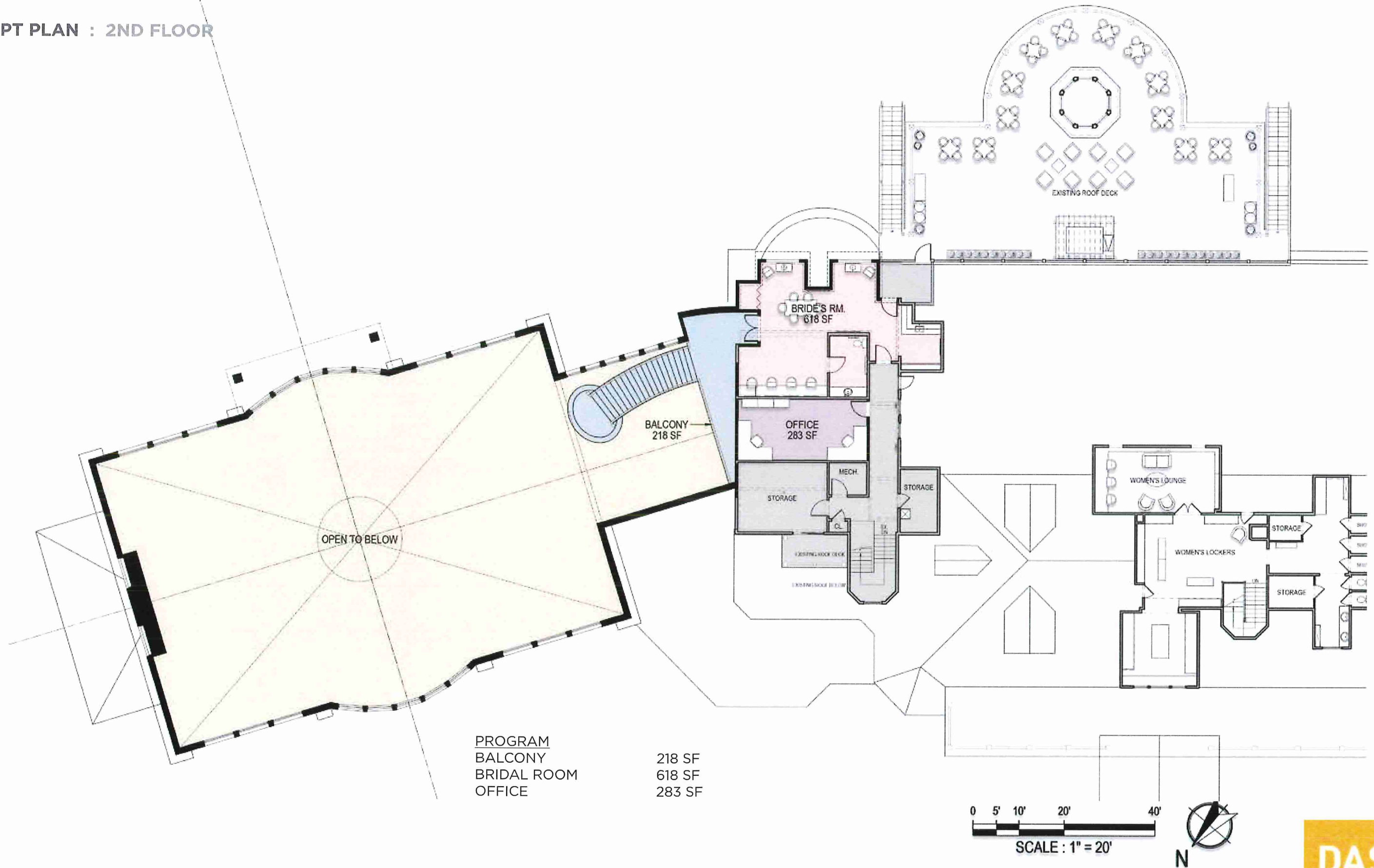
CONCEPT PLAN : 1ST FLOOR



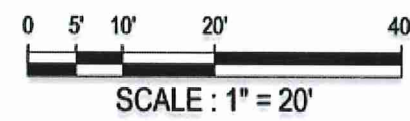
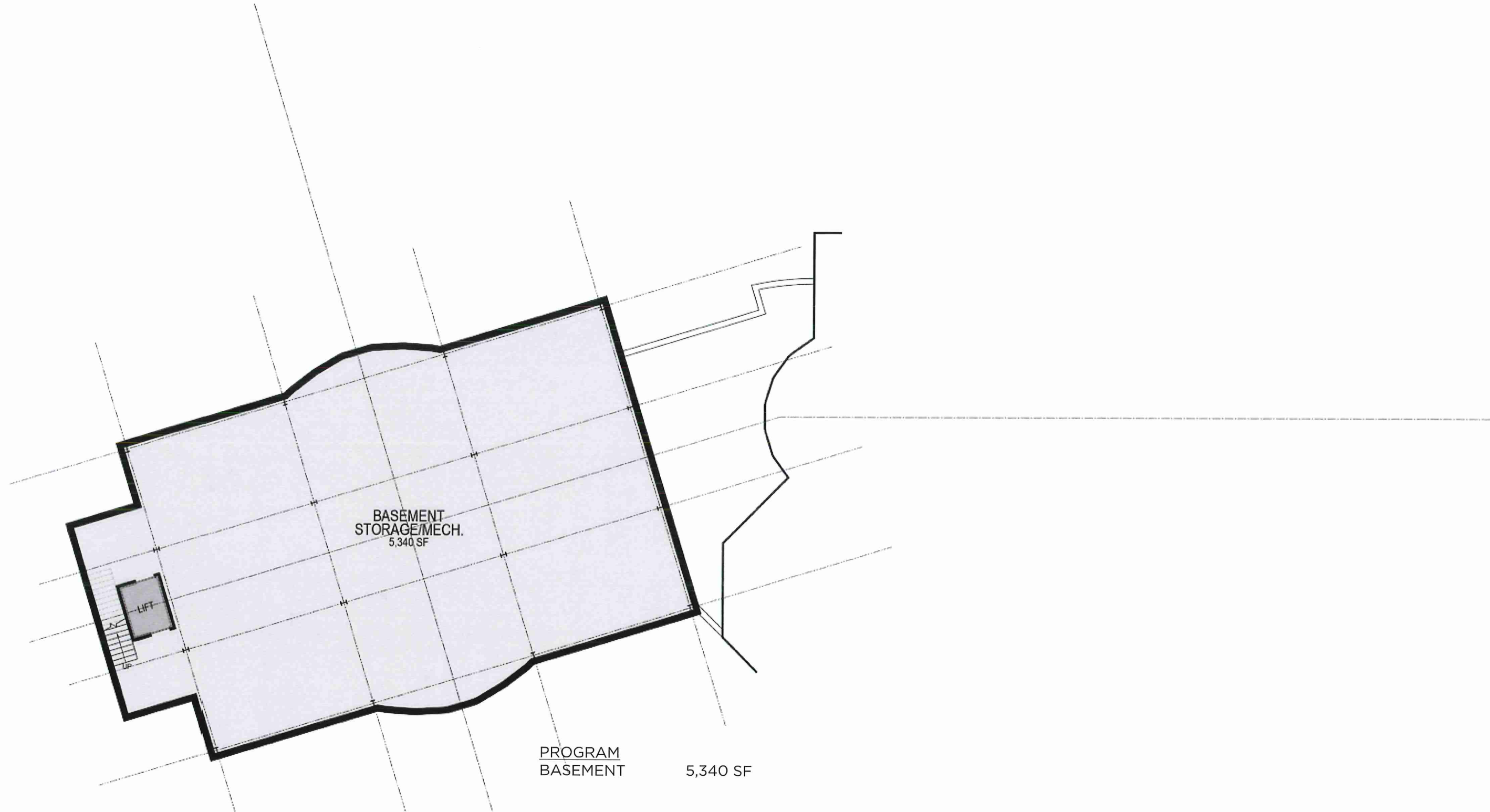
PROGRAM	
PREFUNCTION	3,378 SF
BALLROOM ENTRY	702 SF
BALLROOM (256 SEATS)	5,022 SF
OUTDOOR RECEPTION	2,995 SF
OUTDOOR CEREMONY SPACE	369 SF
TERRACE	434 SF
KITCHEN	894 SF
ACCESS	143 SF
LOADING	143 SF
STORAGE	94 SF



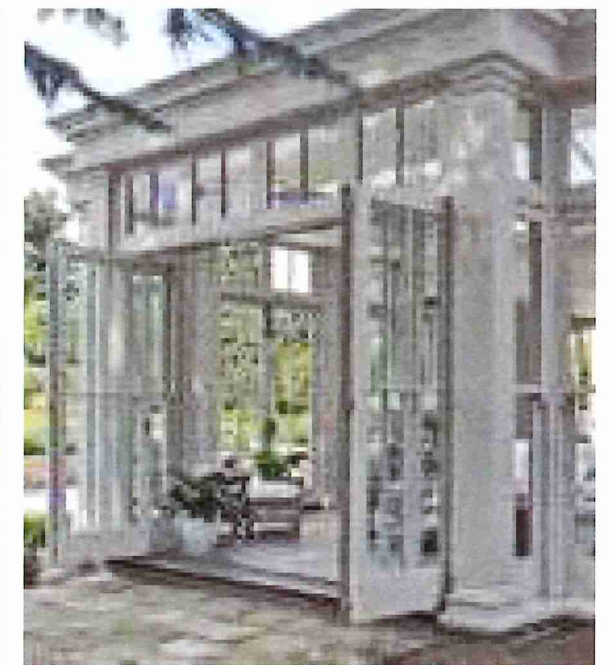
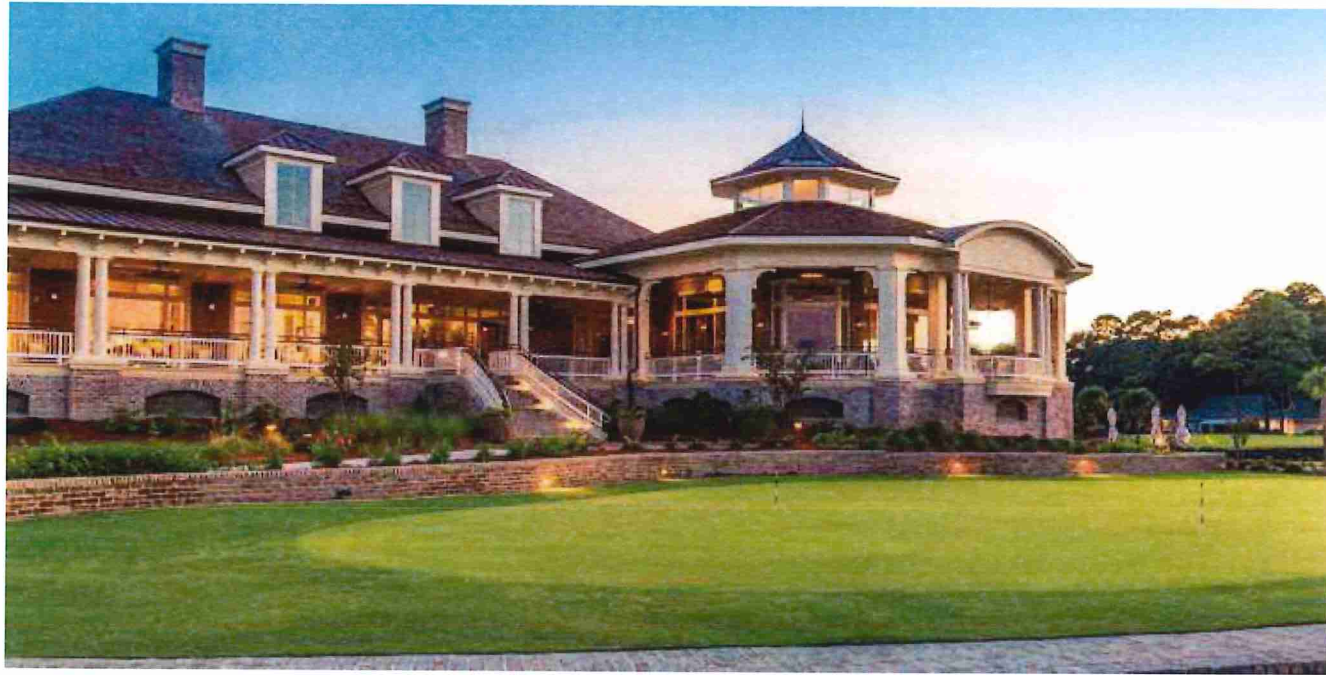
CONCEPT PLAN : 2ND FLOOR



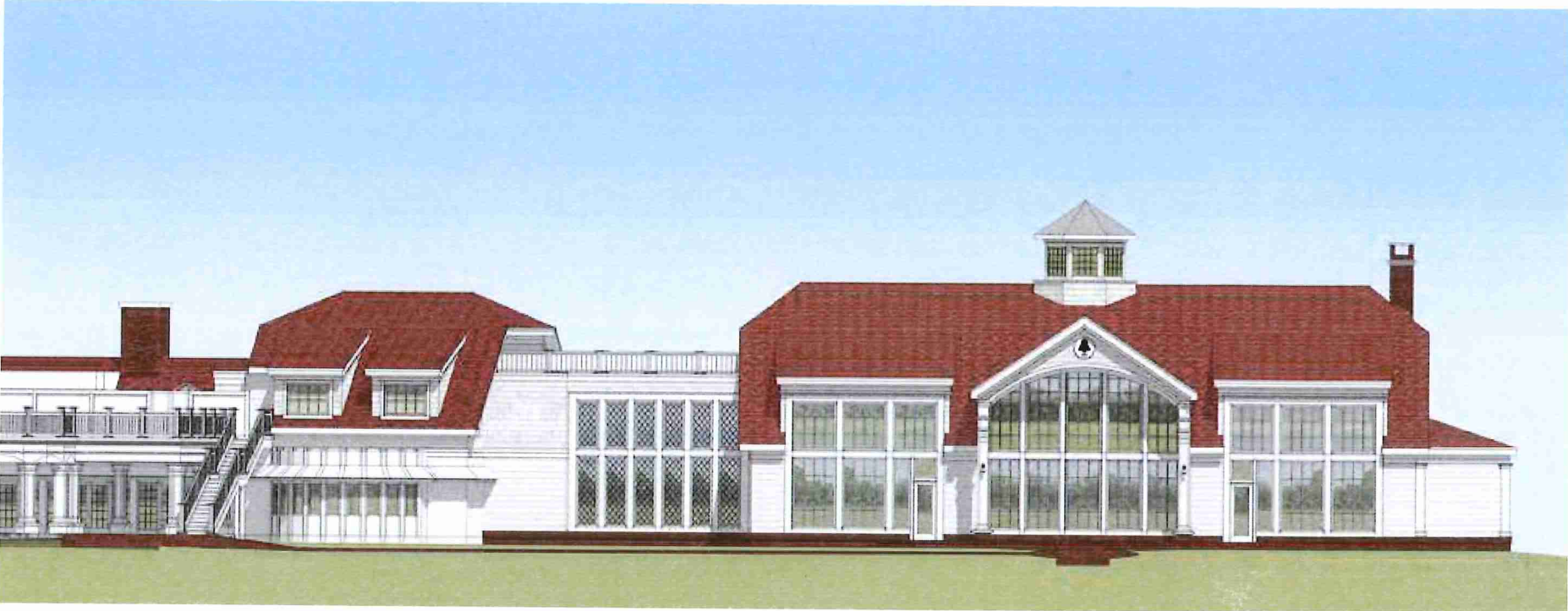
CONCEPT PLAN : BASEMENT



CONCEPTS : EXTERIOR



CONCEPTS : EXTERIOR ELEVATIONS

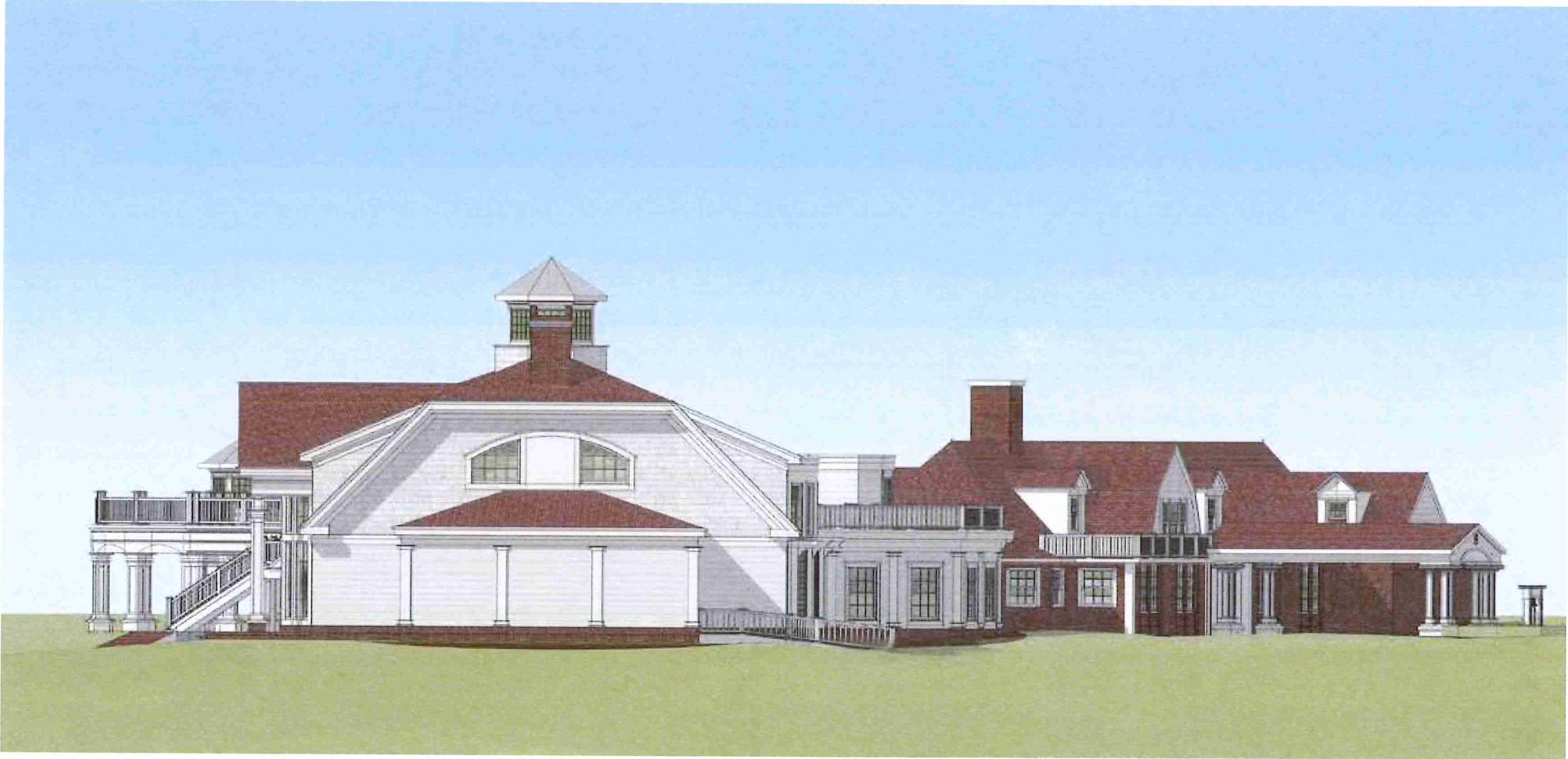


EXTERIOR ELEVATION - REAR



EXTERIOR ELEVATION - FRONT

CONCEPTS : EXTERIOR ELEVATIONS



EXTERIOR ELEVATION - SIDE

CONCEPTS : EXTERIOR RENDERING



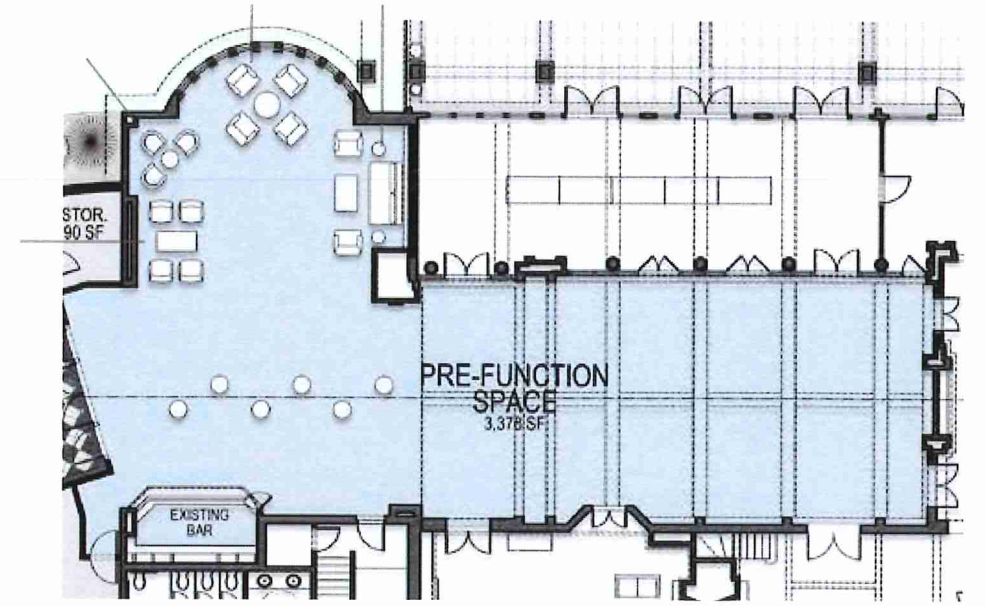
CONCEPTS : EXTERIOR RENDERING



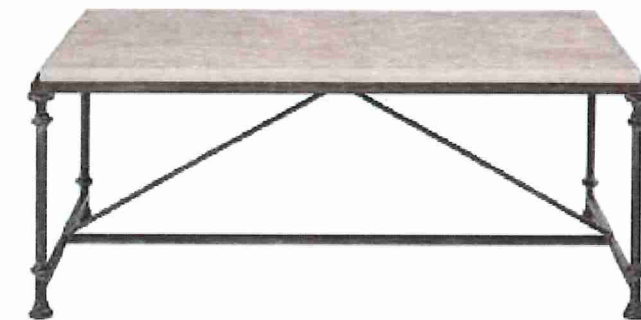
CONCEPTS : EXTERIOR RENDERING



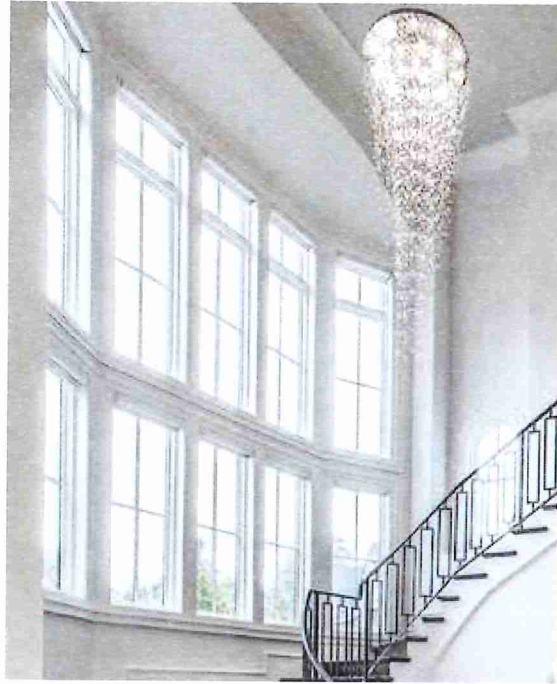
INTERIOR CONCEPTS : PREFUNCTION SPACE



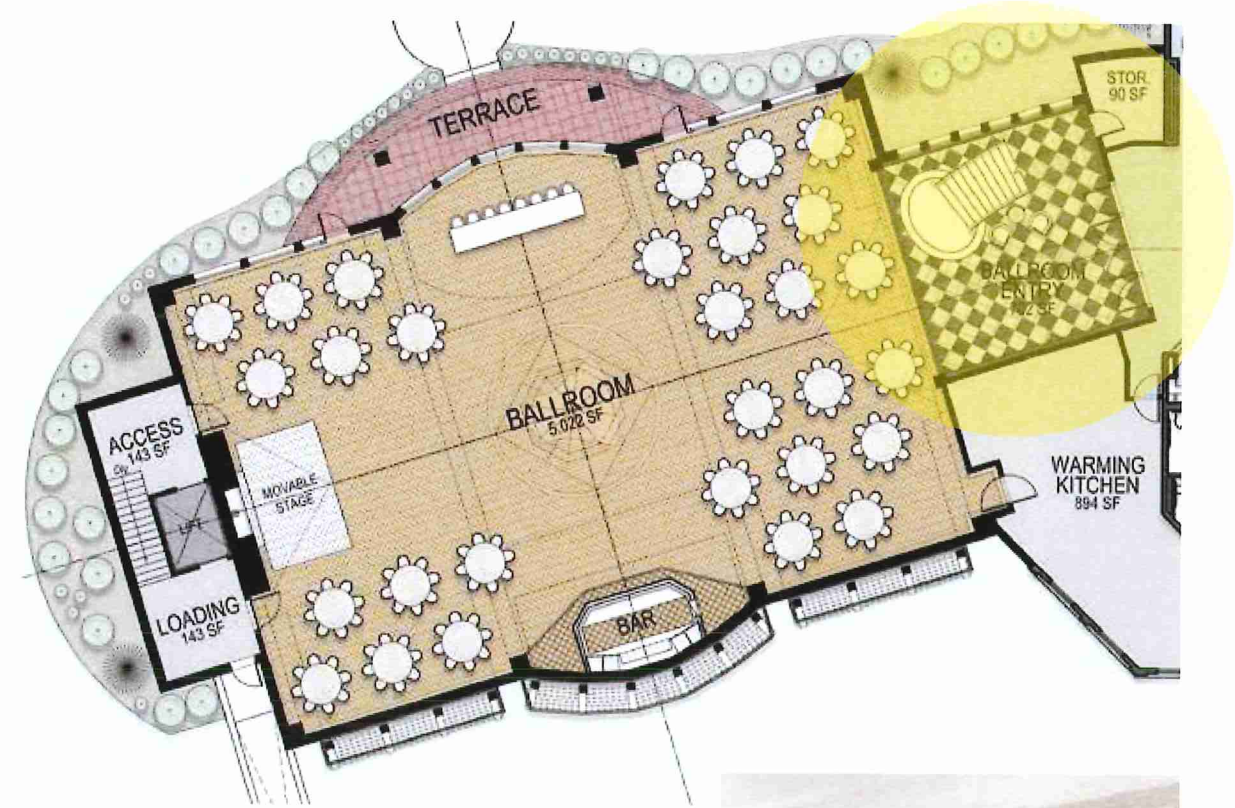
LOUNGE SEATING



INTERIOR CONCEPTS : BALLROOM ENTRY



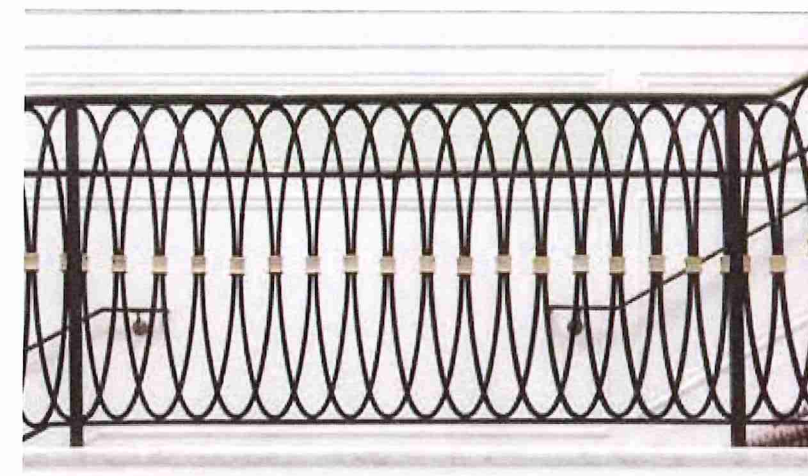
CHANDELIER AT ENTRY HALL



STAIR RUNNER WITH DECORATIVE RODS



BALLROOM ENTRY FLOORING

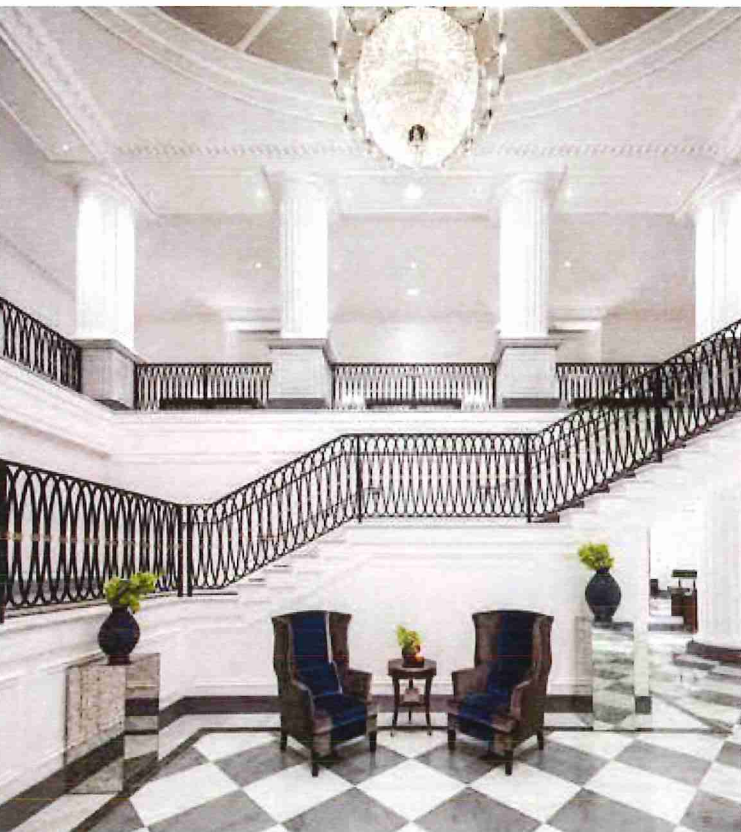
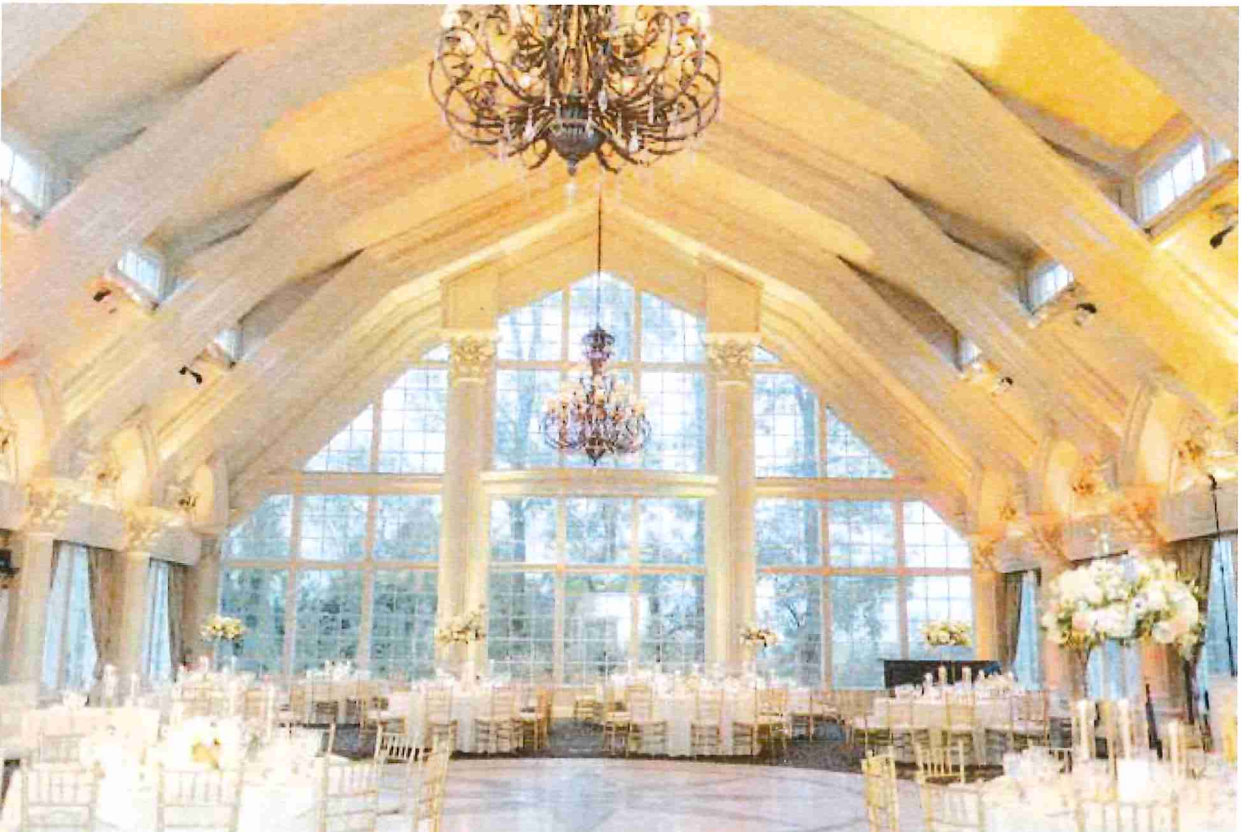


RAILING STYLE

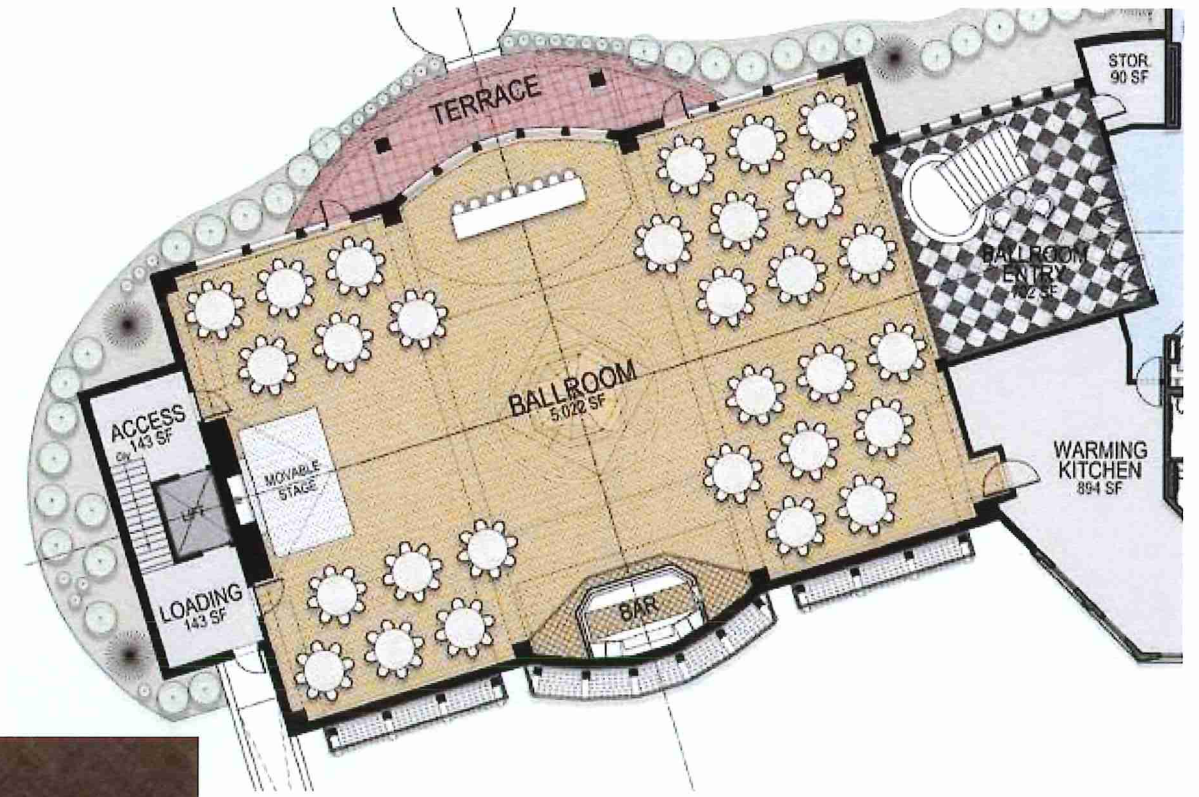


WOOD ENTRY DOORS

INTERIOR CONCEPTS : BALLROOM ADDITION

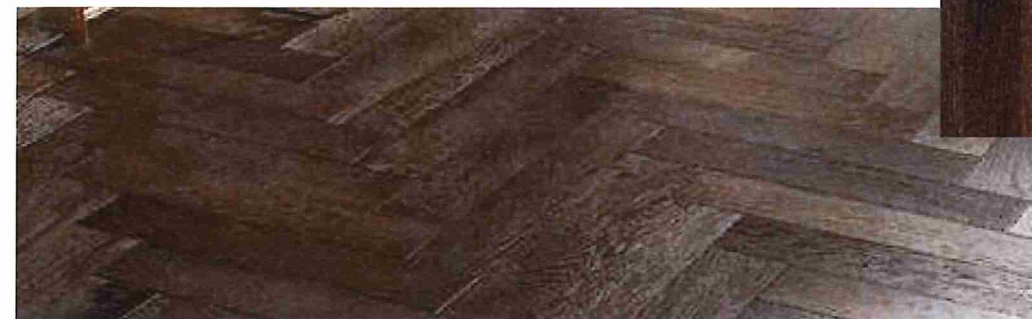


INTERIOR CONCEPTS : BALLROOM



WOOD INLAY LOGO

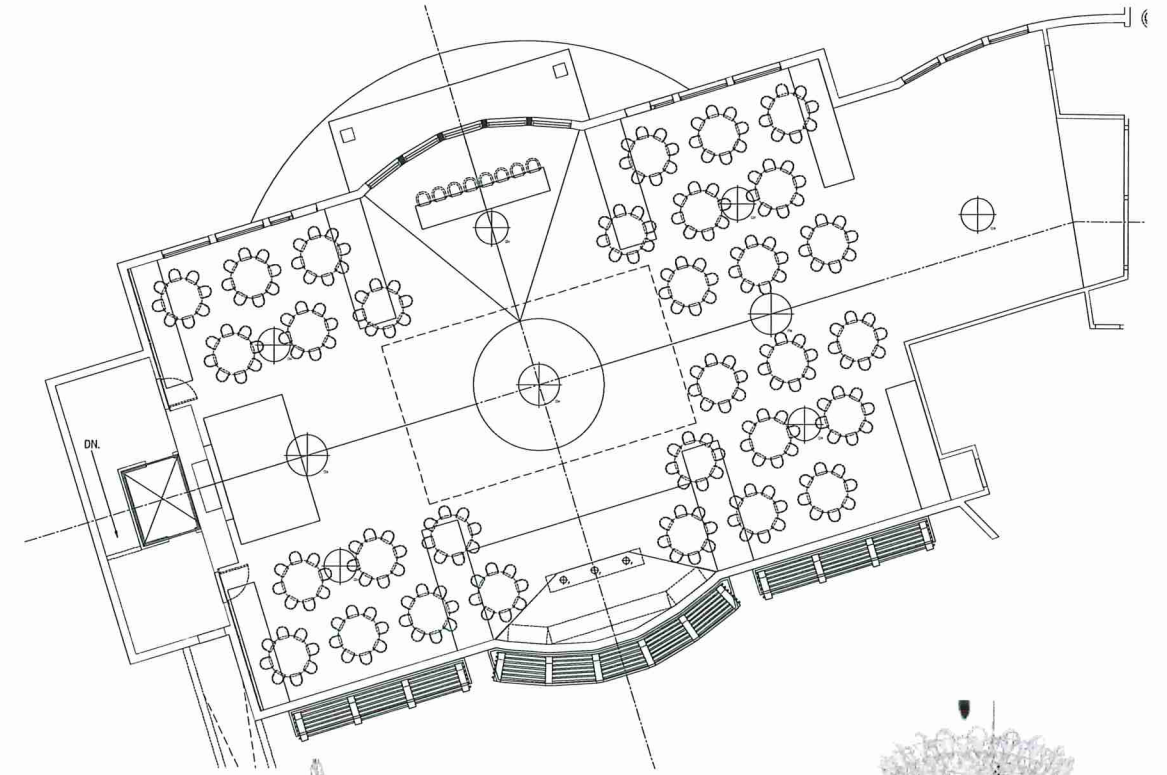
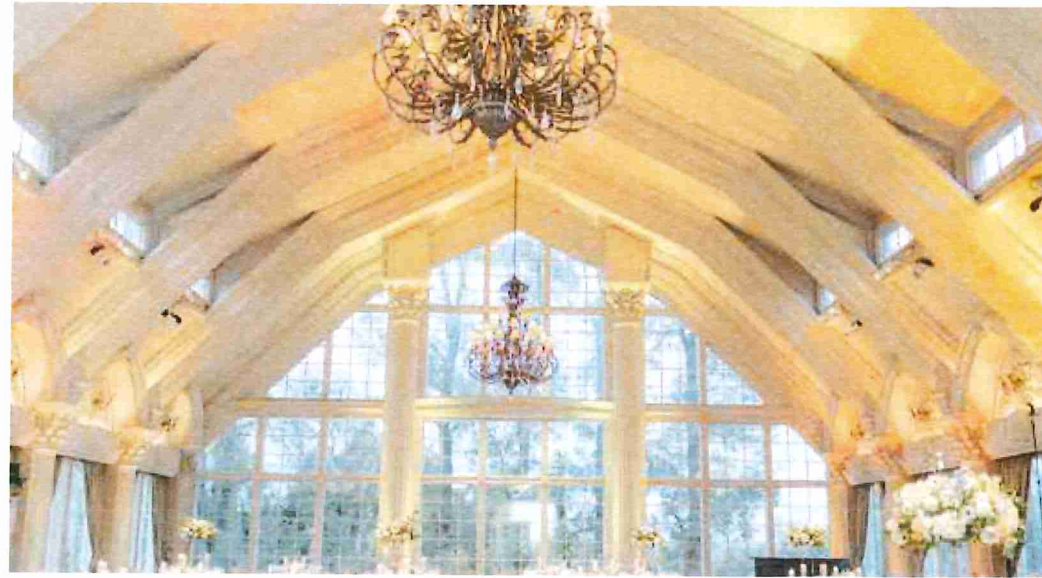
METAL INLAY AT
ENGINEERED
WOOD FLOOR



HERRINGBONE ENGINEERED WOOD FLOOR



INTERIOR CONCEPTS : REFLECTED CEILING PLAN



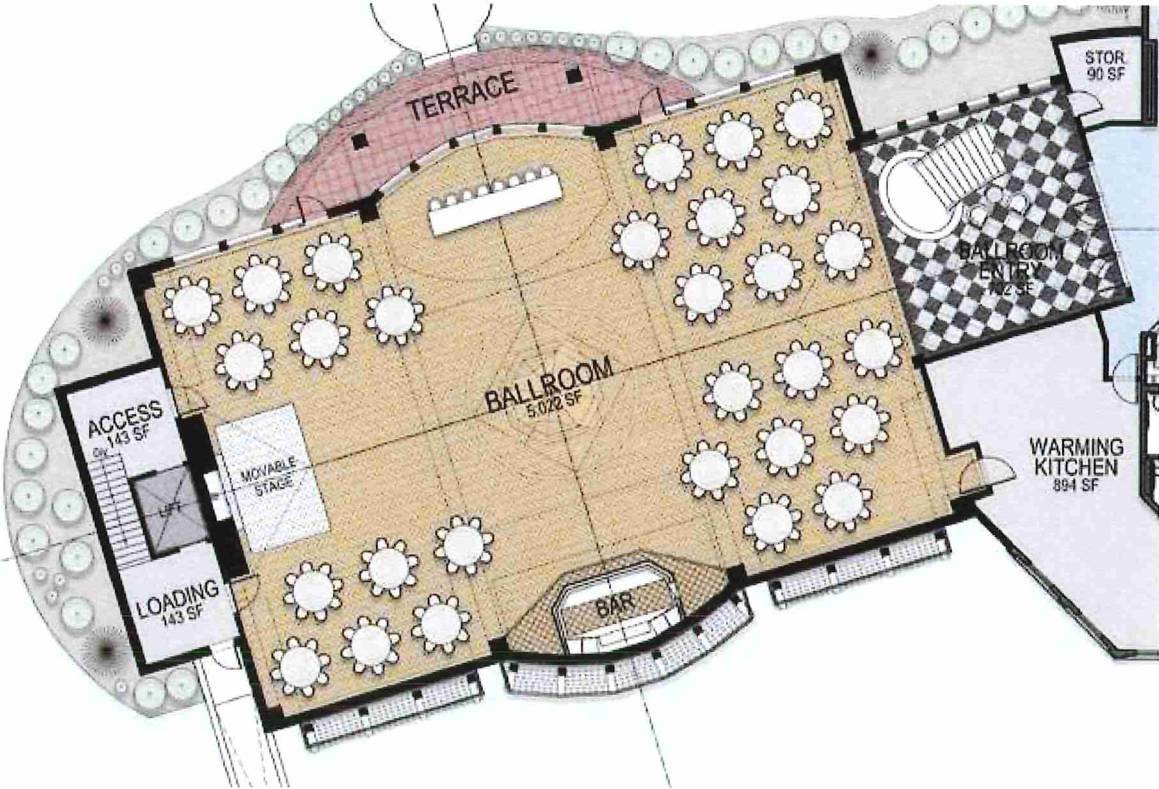
OPTION A



OPTION B



INTERIOR CONCEPTS : BALLROOM FURNITURE



A



B

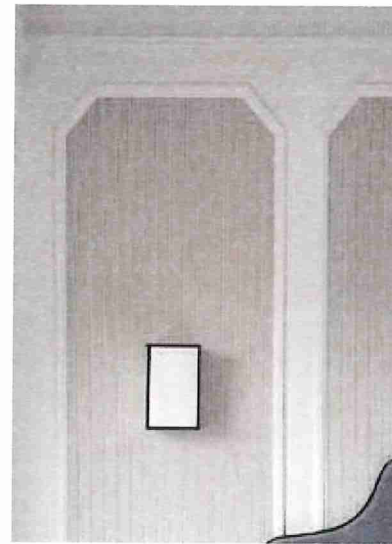
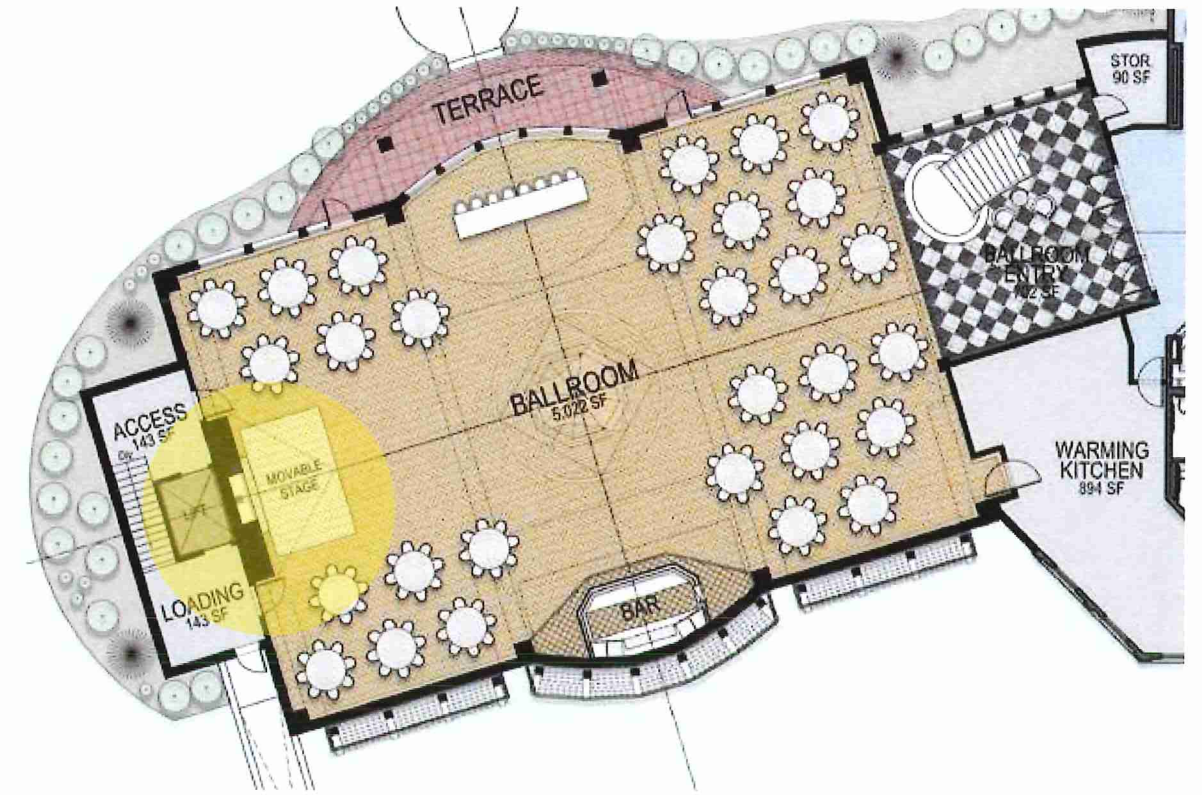


C



BALLROOM CHAIR STYLE OPTIONS

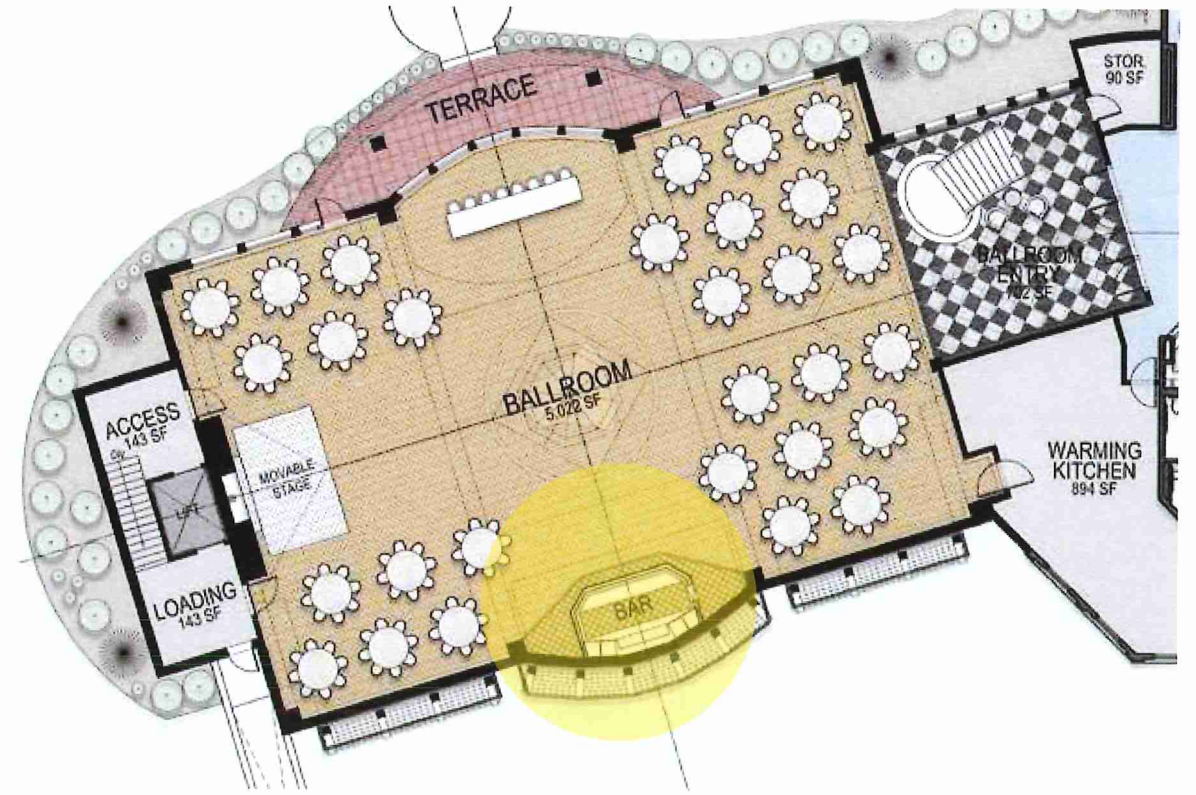
INTERIOR CONCEPTS : FIREPLACE



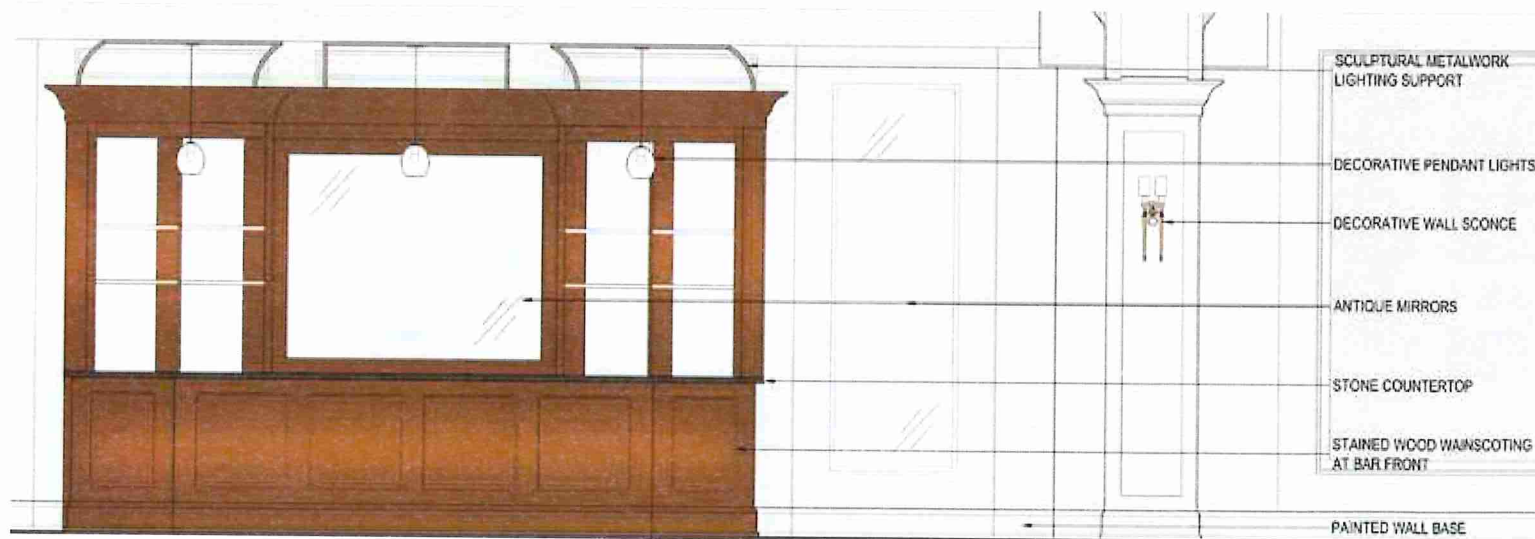
FABRIC WRAPPED WALL PANELS



INTERIOR CONCEPTS : FEATURE BAR



ACCENT TILE AT BAR





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RETAIL : HOSPITALITY : RESIDENTIAL

DAS ARCHITECTS INC.
1628 JOHN F KENNEDY BLVD., SUITE 1300
PHILADELPHIA, PA 19103
(T) 215.751.9008 (F) 215.751.9118
www.dasarchitects.com

DISCLOSURE STATEMENT

Name of Business: ACGC Properties, LLC
Principal Place of Business: 1 Leo Fraser Drive Northfield, NJ 08225

PARTNERSHIP CORPORATION SOLE PROPRIETORSHIP

I CERTIFY that the list below contains the names and home addresses of all stockholders holding 10% or more of the issued and outstanding stock of the undersigned. If one or more of the below is itself a corporation or partnership, I have annexed the names and addresses of anyone owning a 10% or greater interest therein.

I CERTIFY that no one stockholder owns 10% or more of the issued and outstanding stock of the undersigned. <Owned by a Trust>

PLEASE CHECK APPROPRIATE BOXES ABOVE AND SIGN BELOW

STOCKHOLDERS:

NAME	STREET ADDRESS	CITY/STATE
<u>The Chester J. Ottinger, 2017 Irrevocable Grantor Trust</u>	<u>202 Reeves Road</u>	<u>Bridgeton, NJ 08302</u>
_____	_____	_____
_____	_____	_____
_____	_____	_____

I FURTHER CERTIFY that no officer or employee of the County of Atlantic has any interest, direct or indirect in this corporation or partnership or this contract.

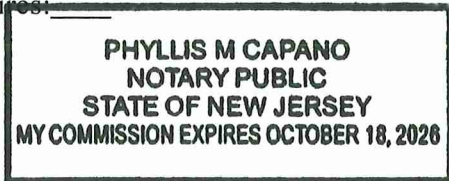
I CERTIFY that the foregoing statements made by me are true. I am aware that if any of the foregoing statements made by me are willfully false, I am subject to punishment.

STATE OF New Jersey)
) **SS:**
COUNTY OF Cumberland)

Sworn and subscribed to
Before me this 8 day
of August 2024
Phyllis M. Capano
Notary Public
My Commission Expires: _____

[Signature]
Signature
Anthony P. Suppa
Name of Person Signing (type or print)
Trustee
Title of Person Signing

Revised: 3/5/2012



CERTIFICATION OF OWNER

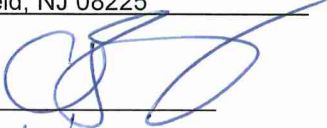
This is to certify that the plans and/or survey plans with the measurements shown have been drawn by me as the owner of the property regarding BLOCK ¹⁷³_{179.01}¹³₁₇₅ LOT(S) ^{1.01, 16, 17 & 18}_{1.01, 2, 48, 54, 17, 7, 5 & 39} Commonly known as 1 Leo Fraser Drive, Northfield, NJ 08225 (Atlantic City Country Club) (address)

Have been drawn as accurately as possible to the best of my knowledge.

Owner's Name Anthony P. Suppa, Trustee, Authorized Signatory of ACCC Properties, LLC

Address 1 Leo Fraser Drive

City Northfield, NJ 08225

Notary 

Date 8/8/24

Sworn to and subscribed before me this 8 day of Aug. 2024



**PHYLLIS M CAPANO
NOTARY PUBLIC
STATE OF NEW JERSEY
MY COMMISSION EXPIRES OCTOBER 18, 2026**

RECEIVED

JUL 29 2024

NDG LEGAL



City of Northfield

TAX ASSESSOR'S OFFICE

1600 SHORE ROAD, NORTHFIELD, NEW JERSEY 08225

July 26, 2024

Nehmad, Davis & Goldstein
4030 Ocean Heights Avenue
Egg Harbor Township, NJ 08234

Block 175 Lot(s) 48
900 Shore Road
Northfield, NJ 08225

Dear Mr. Goldstein,

The following is a list of properties located within 200 feet of the above-mentioned intersection, as it appears on the Northfield Tax map. It is specifically understood that all applications for variances must comply with all existing statutes including the necessary notices to public bodies when applicant and law deems applicable.

Atlantic City Electric
Real Estate & Right of Way Department
5100 Harding Highway, 63ML22
Mays Landing, NJ 08330

South Jersey Gas Co.
Attn.: Ray Wenzel
3800 Atlantic Avenue
Atlantic City, NJ 08401

Page 2

Verizon Engineering Department
Attn.: Douglas Webb
10 Tansboro Road
Berlin, NJ 08009

Comcast Cable
1 Comcast Center 32nd Floor
Philadelphia, PA 19103

New Jersey American Water Company, Inc.
1 Water Street
Camden, NJ 08102

Northfield Sewer Department
1600 Shore Road
Northfield, NJ 08225

Municipal Road
City of Northfield
Mary Canesi, City Clerk
1600 Shore Road
Northfield, NJ 08225

**Mt. Vernon Ave
Roosevelt Ave
Jackson Ave
Lido Dr
Heather Dr
English Lane
Unnamed St
St. Andrews Dr
Hemsley Pl
Bonnie Lee Dr
Fairway Ave**

Page 3

Department of Regional Planning &
Economic Development
Rt. 9 and Dolphin Ave.
Northfield, NJ 08225

**County Road:
Shore Road CR 585**

New Jersey Department of Transportation
P.O. BOX 600
Trenton, NJ 08625-0600

**No State Roads
within 200 ft.**

Sincerely,
William M. Johnson, CTA
William M. Johnson, CTA
City of Northfield

Block Lot Qual	Property Location Additional Lot Additional Lot	Property Class	Owner Address City, State	Zip Code
123 7.03	1105 SHORE RD	2	WOODRUM, DEREK & MISTY 1105 SHORE RD NORTHFIELD, NJ	08225
123 7.04	2 MT VERNON AVE	2	SUMIOKA, KATSUZO & NORIKO 2 MT. VERNON AVENUE NORTHFIELD, NJ	08225
123 7.05	4 MT VERNON AVE	2	SHARRA, JOSEPH & REBECCA 426 FAIRBANKS AVE NORTHFIELD, NJ	08225
124 13	1021 SHORE RD	2	KUMMINGS, MILES 1021 SHORE RD NORTHFIELD, NJ	08225
124 14	1015 SHORE RD 15	2	KLEIN, FREDRIC R 1015 SHORE ROAD NORTHFIELD, NJ	08225
124 16	1007 SHORE RD 17	2	DIJORIO, MICHELE & RINO 1007 SHORE RD NORTHFIELD, NJ	08225
124 18	1001 SHORE RD	2	CHAU, ERLAND 1001 SHORE RD NORTHFIELD, NJ	08225
125 12	921 SHORE RD	2	GUNNISON, STANLEY H & THERESE A 921 SHORE ROAD NORTHFIELD, NJ	08225
125 13	915 SHORE RD	2	NELSON, JOHN H. III & CHARLENE J 915 SHORE ROAD NORTHFIELD, NJ	08225
125 14	905 SHORE RD	2	GEIGER, MICHAEL 905 SHORE RD NORTHFIELD, NJ	08225
125 15	2 JACKSON AVE	2	ZIZZO, MICHAEL & CAROL 2 JACKSON AVE NORTHFIELD, NJ	08225
125 16	10 JACKSON AVE	2	CROOKS, LAUREN W 10 JACKSON AVE NORTHFIELD, NJ	08225
144 11	811 SHORE RD	2	JOO, TIMOTHY F 811 SHORE RD NORTHFIELD, NJ	08225

Block Lot Qual	Property Location Additional Lot Additional Lot	Property Class	Owner Address City, State	Zip Code
144 12	809 SHORE RD	2	RIVERO-ONTIVEROS, NELLY P 809 SHORE ROAD NORTHFIELD, NJ	08225
144 13	807 SHORE RD	2	LINUS REALTY, LLC 17 SUNRISE DR MONTVALE, NJ	07645
144 14	805 SHORE RD	2	CORTES, PABLO & ZENTENO, MANUELA 805 SHORE RD NORTHFIELD, NJ	08225
144 15	801 SHORE RD	2	WALTERS, JOHN 5043 RIDGE AVE EGG HARBOR TWP, NJ	08234
175 1.01	SHORE RD REAR GOLF COURSE	1	ACCC PROPERTIES, LLC C/O C FAHY ONE LEO FRASER DR NORTHFIELD, NJ	08225
175 2	HEMSLEY PL	1	ACCC PROPERTIES, LLC C/O C FAHY ONE LEO FRASER DR NORTHFIELD, NJ	08225
175 3	122 HEMSLEY PL 4	2	KUMMINGS, DIANE 122 HEMSLEY PLACE NORTHFIELD, NJ	08225
175 5	116 HEMSLEY PL	1	ACCC PROPERTIES, LLC C/O C FAHY ONE LEO FRASER DR NORTHFIELD, NJ	08225
175 6	110 HEMSLEY PL	15F	STEINMETZ, SPENCER N 110 HEMSLEY PL NORTHFIELD, NJ	08225
175 7	102 HEMSLEY PL	1	ACCC PROPERTIES, LLC C/O C FAHY ONE LEO FRASER DR NORTHFIELD, NJ	08225
175 8	HEMSLEY PL	1	JJCC LONGPORT, LLC C/O C FAHY ONE LEO FRASER DR NORTHFIELD, NJ	08225
175 9	HEMSLEY PL	1	JJCC LONGPORT, LLC C/O C FAHY ONE LEO FRASER DR NORTHFIELD, NJ	08225
175 10	1202 SHORE RD	2	NESE-SANTOS, REGINA 1202 SHORE RD NORTHFIELD, NJ	08225

Block Lot Qual	Property Location Additional Lot Additional Lot	Property Class	Owner Address City, State	Zip Code
175 11	1212 SHORE RD	2	MCGINTY, CHARLES J. & CLAUDIA 1212 SHORE ROAD NORTHFIELD, NJ	08225
175 46	LANE OFF SHORE RD	15C	CITY OF NORTHFIELD 1600 SHORE RD NORTHFIELD, NJ	08225
175 47	LANE OFF SHORE RD	15C	CITY OF NORTHFIELD 1600 SHORE RD NORTHFIELD, NJ	08225
175 48.01	101 HEMSLEY PL	2	ANN LYNETTE CONDON REVOCABLE TRUST 13360 SABEL CHASE PALM BEACH GARDENS, FL	33418
175 48.02	103 HEMSLEY PL	2	RICH, FRANK & VICTORIA 103 HEMSLEY PLACE NORTHFIELD, NJ	08225
175 49	1128 SHORE RD	2	TRIELO, BRUCE(IRREVOCABLE TR) 1128 SHORE RD NORTHFIELD, NJ	08225
175 50	1124 SHORE RD 52	4A	SIOK, DONALD DREW 1409 ALBURY ST APT.1 KEY WEST, FL	33040
175 53	1100 SHORE RD	2	WRIGHT, BRYAN 1100 SHORE ROAD NORTHFIELD, NJ	08225
175 55	716 SHORE RD	2	CARPENTER, FRANKLIN R JR & AGNES V 716 SHORE RD NORTHFIELD, NJ	08225
175 56	714 SHORE RD	2	BERGEN, ANNE 714 SHORE ROAD NORTHFIELD, NJ	08225
175 57	712 SHORE RD	2	ARGUS, SHELLEY 712 SHORE RD NORTHFIELD, NJ	08225
175 58	710 SHORE RD	2	LEE, ELIZABETH W. Y. 710 SHORE RD NORTHFIELD, NJ	08225
175 59	706 SHORE RD	2	GRASSO, FRANCIS & BARNICLE, LORRAIN 706 SHORE RD NORTHFIELD, NJ	08225

VARIANCE REPORT (200 Fc)

Atlantic County

Block Lot Qual	Property Location Additional Lot Additional Lot	Property Class	Owner Address City, State	Zip Code
175 60	24 COUNTRY CLUB DR	2	FINNEGAN, MELISSA 24 COUNTRY CLUB DR NORTHFIELD, NJ	08225
175 61	147 BONNIE LEE DR	2	SORBELLO, JEFFREY J & MELISSA G 147 BONNIE LEE DR NORTHFIELD, NJ	08225
175 62	1 LIDO DR	2	BROWN, GEOFFREY A 1 LIDO DR NORTHFIELD, NJ	08225
175 63	145 BONNIE LEE DR	2	RUBIN, ANDREA 145 BONNIE LEE DR NORTHFIELD, NJ	08225
175 64	143 BONNIE LEE DR	2	LONG, ANNMARIE V & JANOSIK, SARAH E 143 BONNIE LEE DR NORTHFIELD, NJ	08225
175 65	141 BONNIE LEE DR	2	TALLEY, MICHAEL & RANDI 141 BONNIE LEE DR NORTHFIELD, NJ	08225
175 66	139 BONNIE LEE DR	2	RUBIN, ADAM & CAROLINE 139 BONNIE LEE DR NORTHFIELD, NJ	08225
175 67	137 BONNIE LEE DR	2	CONNELL, JAMES T III 137 BONNIE LEE DR NORTHFIELD, NJ	08225
175 68	135 BONNIE LEE DR 69	2	MAZZEO, BENJAMIN F & MARSHA R 135 BONNIE LEE DRIVE NORTHFIELD, NJ	08225
175 70	1 HEATHER DR	2	ELLISON, ARLENE L 1 HEATHER DR NORTHFIELD, NJ	08225
175 71	3 HEATHER DR	2	POMPONI, FRANK & MARY 3 HEATHER DR NORTHFIELD, NJ	08225
175 72	2 HEATHER DR 73	2	THOMAS, BRIAN A. & JILL 2 HEATHER DR NORTHFIELD, NJ	08225
175 74	198 ENGLISH LANE	2	PARKER, JESSE & JULIE 198 ENGLISH LANE NORTHFIELD, NJ	08225

Block Lot Subl	Property Location Additional Lot Additional Lot	Property Class	Owner Address City, State	Zip Code
175 75	4 HEATHER DR	2	GRAVES, GEORGE T III & JANET R 4 HEATHER DR NORTHFIELD, NJ	08225
175 76	200 ENGLISH LANE	2	MCCULLY, MATTHEW C. & MICHELE 200 ENGLISH LN NORTHFIELD, NJ	08225
175 77	202 ENGLISH LANE	2	FUSCO, ANTHONY,-JR 202 ENGLISH LN NORTHFIELD, NJ	08225
175 78	204 ENGLISH LANE	2	GRAFF, KERRY W & BAILEY-, DEBORAH J 204 ENGLISH LANE NORTHFIELD, NJ	08225
177 1	22 COUNTRY CLUB DR	2	GIRARD, JEANNE 22 COUNTRY CLUB DR. NORTHFIELD, NJ	08225
177 2	144 BONNIE LEE DR	2	STOCKTON, SEAN 144 BONNIE LEE DR NORTHFIELD, NJ	08225
177 3	142 BONNIE LEE DR	2	MAISTROW, DANIEL 142 BONNIE LEE DR NORTHFIELD, NJ	08225
177 4	140 BONNIE LEE DR	2	PILONE, MICHELE 140 BONNIE LEE DR NORTHFIELD, NJ	08225
177 5	138 BONNIE LEE DR	2	D'ALONZO, FRANK JR & NANETTE I 138 BONNIE LEE DRIVE NORTHFIELD, NJ	08225
177 6	136 BONNIE LEE DR	2	POTOPCHUK, ANDREW III & KELLI A 136 BONNIE LEE DR NORTHFIELD, NJ	08225
177 7	134 BONNIE LEE DR 8	2	HOLLANDER, CHARLOTTE 134 BONNIE LEE DR NORTHFIELD, NJ	08225
177 9	130 BONNIE LEE DR 10,11	2	NEWMAN, PAUL & SAYEGH, KIMBERLY 130 BONNIE LEE DRIVE NORTHFIELD, NJ	08225
179.01 1.01	ENGLISH LANE	1	ACCC PROPERTIES, LLC C/O C FAHY ONE LEO FRASER DR NORTHFIELD, NJ	08225

VARIANCE REPORT (200 Ft)

Atlantic County

Block Lot Qual	Property Location Additional Lot Additional Lot	Property Class	Owner Address City, State	Zip Code
179.01 1.02	10 ST ANDREWS DR	2	MCFADDEN, LOUIS P. JR. 10 ST ANDREWS DR NORTHFIELD, NJ	08225
179.01 1.03	9 ST ANDREWS DR SEE 180/1	2	NEW JERSEY HOME BUYERS LLC 369 E 62ND ST NEW YORK, NY	10065
179.01 2	1 ST ANDREWS DR	2	SHAFFNER, GORDON E & JO-ANN 1 ST ANDREWS DR NORTHFIELD, NJ	08225
179.01 3	2 ST ANDREWS DR	2	JANEL, MICHAEL & ROBERTA 2 ST ANDREWS DR NORTHFIELD, NJ	08225
179.01 4	201 ENGLISH LANE	2	WRAY, JEFFREY G. 201 ENGLISH LANE NORTHFIELD, NJ	08225
179.01 5	129 BONNIE LEE DR	2	KYLE, HOWARD J & MONICA A 129 BONNIE LEE DR NORTHFIELD, NJ	08225
179.01 6	127 BONNIE LEE DR	2	DORNER, JOSEPH F. & PATRICIA M. 127 BONNIE LEE DR NORTHFIELD, NJ	08225
179.01 15	ENGLISH LANE	15C	CITY OF NORTHFIELD 1600 SHORE RD NORTHFIELD, NJ	08225
179.01 16	ENGLISH LANE	1	ACCC PROPERTIES, LLC C/O C FAHY ONE LEO FRASER DR NORTHFIELD, NJ	08225
179.01 17	ENGLISH LANE	1	ACCC PROPERTIES, LLC C/O C FAHY ONE LEO FRASER DR NORTHFIELD, NJ	08225
180 1	LAKE SEE 179.01/1.03	1	NEW JERSEY HOME BUYERS, LLC 369 E 62ND ST NEW YORK, NY	10065

TAX COLLECTOR'S OFFICE
1600 Shore Road
Northfield, NJ 08255
Phone# 609-641-2832 ext. 126 Fax# 609-646-7175

Certification of Taxes & Sewer Paid

TO: Eric S. Goldstein

RE: Atlantic City Country Club

From: Robin Atlas, Tax Collector

DATE: July 25, 2024

RE: Certificate of taxes & sewer paid

BLOCK/LOT(S): Block 175 Lot 48

PROPERTY LOCATION: 900 Shore Road

PROPERTY OWNER OF RECORD: ACCC Properties, LLC

This is to verify that this property located in Northfield has paid taxes to November 1, 2024 and sewer to September 1, 2024.

Request for Taxpayer Identification Number and Certification

Go to www.irs.gov/FormW9 for instructions and the latest information.

Give form to the requester. Do not send to the IRS.

Before you begin. For guidance related to the purpose of Form W-9, see *Purpose of Form*, below.

Print or type. See Specific Instructions on page 3.	<p>1 Name of entity/individual. An entry is required. (For a sole proprietor or disregarded entity, enter the owner's name on line 1, and enter the business/disregarded entity's name on line 2.)</p> <p>ACCC Properties, LLC</p>		
	<p>2 Business name/disregarded entity name, if different from above.</p>		
	<p>3a Check the appropriate box for federal tax classification of the entity/individual whose name is entered on line 1. Check only one of the following seven boxes.</p> <p><input type="checkbox"/> Individual/sole proprietor <input type="checkbox"/> C corporation <input type="checkbox"/> S corporation <input type="checkbox"/> Partnership <input type="checkbox"/> Trust/estate</p> <p><input checked="" type="checkbox"/> LLC. Enter the tax classification (C = C corporation, S = S corporation, P = Partnership) S</p> <p>Note: Check the "LLC" box above and, in the entry space, enter the appropriate code (C, S, or P) for the tax classification of the LLC, unless it is a disregarded entity. A disregarded entity should instead check the appropriate box for the tax classification of its owner.</p> <p><input type="checkbox"/> Other (see instructions) _____</p>	<p>4 Exemptions (codes apply only to certain entities, not individuals; see instructions on page 3):</p> <p>Exempt payee code (if any) _____</p> <p>Exemption from Foreign Account Tax Compliance Act (FATCA) reporting code (if any) _____</p> <p style="text-align: right;"><i>(Applies to accounts maintained outside the United States.)</i></p>	
	<p>3b If on line 3a you checked "Partnership" or "Trust/estate," or checked "LLC" and entered "P" as its tax classification, and you are providing this form to a partnership, trust, or estate in which you have an ownership interest, check this box if you have any foreign partners, owners, or beneficiaries. See instructions <input type="checkbox"/></p>		
	<p>5 Address (number, street, and apt. or suite no.). See instructions.</p> <p>One Leo Fraser Dr.</p>	<p>Requester's name and address (optional)</p>	
	<p>6 City, state, and ZIP code</p> <p>Northfield, NJ 08225</p>		
	<p>7 List account number(s) here (optional)</p>		

Part I Taxpayer Identification Number (TIN)

Enter your TIN in the appropriate box. The TIN provided must match the name given on line 1 to avoid backup withholding. For individuals, this is generally your social security number (SSN). However, for a resident alien, sole proprietor, or disregarded entity, see the instructions for Part I, later. For other entities, it is your employer identification number (EIN). If you do not have a number, see *How to get a TIN*, later.

Note: If the account is in more than one name, see the instructions for line 1. See also *What Name and Number To Give the Requester* for guidelines on whose number to enter.

Social security number									
or									
Employer identification number									
4	6	-	5	0	9	2	4	6	7

Part II Certification

Under penalties of perjury, I certify that:

- The number shown on this form is my correct taxpayer identification number (or I am waiting for a number to be issued to me); and
- I am not subject to backup withholding because (a) I am exempt from backup withholding, or (b) I have not been notified by the Internal Revenue Service (IRS) that I am subject to backup withholding as a result of a failure to report all interest or dividends, or (c) the IRS has notified me that I am no longer subject to backup withholding; and
- I am a U.S. citizen or other U.S. person (defined below); and
- The FATCA code(s) entered on this form (if any) indicating that I am exempt from FATCA reporting is correct.

Certification instructions. You must cross out item 2 above if you have been notified by the IRS that you are currently subject to backup withholding because you have failed to report all interest and dividends on your tax return. For real estate transactions, item 2 does not apply. For mortgage interest paid, acquisition or abandonment of secured property, cancellation of debt, contributions to an individual retirement arrangement (IRA), and, generally, payments other than interest and dividends, you are not required to sign the certification, but you must provide your correct TIN. See the instructions for Part II, later.

Sign Here	<p>Signature of U.S. person</p>	<p>Date</p> <p style="text-align: center;">8/8/24</p>
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General Instructions

Section references are to the Internal Revenue Code unless otherwise noted.

Future developments. For the latest information about developments related to Form W-9 and its instructions, such as legislation enacted after they were published, go to www.irs.gov/FormW9.

What's New

Line 3a has been modified to clarify how a disregarded entity completes this line. An LLC that is a disregarded entity should check the appropriate box for the tax classification of its owner. Otherwise, it should check the "LLC" box and enter its appropriate tax classification.

New line 3b has been added to this form. A flow-through entity is required to complete this line to indicate that it has direct or indirect foreign partners, owners, or beneficiaries when it provides the Form W-9 to another flow-through entity in which it has an ownership interest. This change is intended to provide a flow-through entity with information regarding the status of its indirect foreign partners, owners, or beneficiaries, so that it can satisfy any applicable reporting requirements. For example, a partnership that has any indirect foreign partners may be required to complete Schedules K-2 and K-3. See the Partnership Instructions for Schedules K-2 and K-3 (Form 1065).

Purpose of Form

An individual or entity (Form W-9 requester) who is required to file an information return with the IRS is giving you this form because they